10 Year Long Range Facility Plan Prepared for Prospect Heights School District 23



Owner: Board of Education Prospect Heights School District 23 700 N. Schoenbeck Road Prospect Heights, Illinois 60070



Architect:

ARCON Associates, Inc. 2050 South Finley Road, Suite 40 Lombard, Illinois 60148 Project No. 16077

Mechanical/ Electrical / Plumbing: 20/10 Engineering 1216 Tower Road Schaumburg, Illinois 60173



January 05, 2017



Eisenhower Elementary School 01.05.17 Updated Report

Site					2016				Sı	btotals include 49	% Inflation per ye	ar					
	Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
		Existing cracking, alligatoring, and/or general															
S-02	East Drop Off Lot	deterioration requires asphalt patching	Patch asphalt		\$7,200		\$7,200										
S-04	Main Entrance	Exterior railings rusting/paint is deteriorating	Sand, prep and re-paint, or replace railings		\$5,000				\$5,000								
0 0 1		Life of lots will be extended with preventative	Tamigo	Crackfill/Sealcoat on a 3-Year Cycle, Re-stripe	\$0,000				\$0,000								
S-06	Parking Lots, Playground, Paths	maintenance		lots/curb													
	Lot A				\$7,980		\$7,980			\$7,980			\$7,980				
	Lot B				\$2,700		\$2,700			\$2,700			\$2,700				
	North Playground				\$3,580		\$3,580			\$3,580			\$3,580				
S-12	Flagpole	Flagpole is off-centered	Adjust Flagpole		tbd												
0.40		Asphalt has deteriorated and is ready for			6 00 550	* ***											
S-13 S-14	North Playground	replacement. Several trip hazards noted	Replace asphalt playground		\$80,550 \$600	\$80,550											
S-14	East Drop Off Lot	Minor rust at light pole	Remove rust, paint		\$600								-				
S-15	Parking Lots	Asphalt lots require replacement at end of expected life	Replace asphalt parking lot (retain existing stone)														
<u> </u>	Lot A		· · · · · · · · · · · · · · · · · · ·		\$179,550											\$179,550	
	Lot B				\$60,750											\$60,750	
			Plan for replacement of older														
			timber/galvanized playground units.														
S-16	Playground Equipment	Older playground units are approaching the end of their useful life	Install new poured-in-place playground surfacing with concrete ribbon curb.		\$325,500			\$325,500									
3-10	Sidewalks	Annual sidewalk maintenance	sunacing with concrete ribbon curb.	Replace damaged concrete pads	\$325,500		\$1.000	\$325,500	\$1.000		\$1.000		\$1.000		\$1.000		
	Oldewalks	Annual sidewaik maintenance		Site Subtotals at 4% Inflation per year	\$674,410	\$83.772	\$24,257	\$364,560	\$7.020	\$17.397	\$1,000	S	0 \$20,906	02	\$1,000	\$370.062	\$890.724
					4074,410	<i>\\</i> 00,772	φ24,207	φ00 4 ,000	ψ1,020	φ17,007	ψ1,210	ψ	φ20,000	φu	φ1,400	4070,002	φ030,724
Building	Envelope (Walls / Masonry)				2016				Su	btotals include 4	% Inflation per ve	ar					
	Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
	Southwest Elevation Area 8, Southeast	Deteriorated sealant at vertical masonry control	Remove sealant, clean and prime joint,	Remove sealant, clean and prime joint, install													
W-05	Elevation Area 4	joints	install joint backer rod and sealant	joint backer rod and sealant	\$2,000	\$2,000											
		Asphalt paving above top of foundation and															
W-19	West Elevation Area 1, 5, 6	foundation flashing															
		Minor deterioration beginning to show at	Plan to re-seal horizontal and vertical eifs	3													
W-34	Entire building (typical)	horizontal and vertical eifs joints	joints	Monitor and decide when necessary													
W-35	North Elevation Area 5	Cracked pvc downspout	Replace damaged sections pvc downspout	Replace damaged sections pvc downspout	\$500	\$500											
W-35 W-36	Northeast Elevation Area 1	Rusted gas pipe	Prime and paint rusted gas pipe	Prime and paint rusted gas pipe	\$300	\$250											
W-30	Southeast Elevation Area 1	Previous eifs repairs	Monitor	· ····· · ···· · ···· · ····· · ·······	φ200	\$0											
W-38	Southeast Elevation area 1	Damaged eifs	Repair damaged area of eifs	Repair damaged area of eifs	\$750	\$750											
		Ť	Adjust splash block at drainage pipe and	Adjust splash block at drainage pipe and repair													
W-39	Southwest Elevation Area 1	Modify drainage at stone retaining wall	repair retaining wall Replace damaged section of stone	retaining wall	\$1,500	\$1,500							+				
W-48	East of Main Entrance	Deterioration of retaining wall	retaining wall		\$1,500	\$750											
		Minor rust, deterioration of paint at exterior	Paint exterior doors and/or frames and														
W-49	Throughout Building	doors	add drip cap		\$4,000 district			\$4,000					+				
W-51	Southeast Elevation	Existing vegetation growing on upper wall	Remove vegetation to eliminate deterioration of mortar joints		maintenance												
		Sealant joint deteriorated	Install new sealant joint		\$600		\$600										
W-52	Northwest Corner												-				
W-52 W-53	Northwest Corner Northwest Corner	Minor panel deterioration	Repair panel		\$600		\$600										
		Minor panel deterioration	Repair panel Replace single pane windows with		\$600 \$135.000		\$600	\$135.000									
W-53 W-54	Northwest Corner Throughout Building	Minor panel deterioration Windows are not thermally broken Evidence of algae growing at bottom of dryvit	Repair panel Replace single pane windows with energy efficient windows Clean and remove growth to preserve		\$135,000 district		\$600										
W-53	Northwest Corner	Minor panel deterioration Windows are not thermally broken	Repair panel Replace single pane windows with energy efficient windows	Duilding Equations (Malls/Macagaux Autorisis	\$135,000		\$600										
W-53 W-54	Northwest Corner Throughout Building	Minor panel deterioration Windows are not thermally broken Evidence of algae growing at bottom of dryvit	Repair panel Replace single pane windows with energy efficient windows Clean and remove growth to preserve	Building Envelope (Walls/Masonry) Subtotals at 4% Inflation per year	\$135,000 district	\$5,980	\$600			02	02	٩	0	02-	02	02	\$162.956





Eisenhower Elementary School 01.05.17 Updated Report

Building Envelope (Roofing)				2016				Sut	ototals include 49	% Inflation per ye	ar					
Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
		Remove vegetation / debris from roof														
R-04 Roof Area 6.0 (1), 8.0 (4)	Vegetation / debris in and around roof drains	drains	Remove vegetation / debris from roof drains	\$150												
R-05 Roof Area 9.0	Expansion joint material at maximum width	Replace wall expansion joint	Replace wall expansion joint	\$4,700	\$4,700											
R-06 Roof Area 1.0, 8.0	Loose / unadhered section of roof membrane	Repair loose areas	Repair loose areas	\$500	\$500											
Random throughout Roof Area 2.0, 3.0, 4.0, 8-07 5.0, 6.0, 7.0	Blistering of roof membrane	No action at this time, monitor	Monitor roof condition and performance. Provide preventive maintenance as required													
Random throughout Roof Area 2.0 (6), 3.0	Bistering of foor membrane	No action at this time, monitor	Monitor roof condition and performance. Provide													
R-08 (15), 4.0, 5.0, 6.0, 7.0 (20+)	Previous patching of roof membrane	No action at this time, monitor	preventive maintenance as required													
	Opening at cable penetration at pipe portal	Repair cable penetration at pipe portal	F													
R-09 West side of Roof Area 7.0	boot	boot	Repair cable penetration at pipe portal boot	\$250	\$250											
	Rusting at rail curb caps discoloring the roof															
R-10 Roof Area 1.0	membrane	Prime and paint metal rail curb caps	Prime and paint metal rail curb caps	\$150	\$150											
	Improper material used to patch roof															
R-11 Roof Area 1.0 and 5.0	membrane	Replace patch with the proper material		\$150	\$150											
R-12 Roof Area 1.0	Rusted gas pipe	Prime and paint rusted gas pipe	Manitana a fara diti na and na farmana . Davida	\$300	\$300											
RA-1.0	No work required at this time	Preventive maintenance	Monitor roof condition and performance. Provide preventive maintenance as required													
KA-1.0	Roof area has reached the end of its	Freventive maintenance	Monitor roof condition and performance. Provide													
RA-2.0	serviceable life	Replace roof area	preventive maintenance as required	\$35,880		\$35,880										
101210	Roof area has reached the end of its	Ropiaco foci alca	Monitor roof condition and performance. Provide			\$00,000										
RA-3.0	serviceable life	Replace roof area	preventive maintenance as required	\$31,980		\$31,980										
	Roof area has reached the end of its	- ·	Monitor roof condition and performance. Provide													
RA-4.0	serviceable life	Replace roof area	preventive maintenance as required	\$35,230		\$35,230										
	Roof area has reached the end of its		Monitor roof condition and performance. Provide			-										
RA-5.0	serviceable life	Replace roof area	preventive maintenance as required	\$65,780		\$65,780										
	Roof area has reached the end of its	Danka a set and	Monitor roof condition and performance. Provide			* • • • • •										
RA-6.0	serviceable life	Replace roof area	preventive maintenance as required	\$16,640		\$16,640										
RA-7.0	Roof area has reached the end of its serviceable life	Replace roof area	Monitor roof condition and performance. Provide preventive maintenance as required	\$134,290		\$134,290										
10-1.U	SCIVICEADIE IIIE		Monitor roof condition and performance. Provide			φ1 34, ∠90										
RA-8.0	No work required at this time	Preventive maintenance	preventive maintenance as required													
	Roof area has reached the end of its		Monitor roof condition and performance. Provide	1												
RA-9.0	serviceable life	Replace roof area	preventive maintenance as required	\$19,110										\$19,110		
All roof areas	Preventive maintenance	Preventive maintenance		\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500		
	Modified bitumen (mb) roof membrane with															
B RA 2.0, 3.0, 4.0, 5.0, 6.0, 7.0	black granule surfacing															
C RA 9.0	EPDM adhered roof membrane															
F RA 1.0, 8.0	TPO adhered reinforced roof membrane		Building Envelope (Decting) Subtetals at 49/													
			Building Envelope (Roofing) Subtotals at 4% Inflation per year	\$348,610	\$9,932	\$349,164	\$3,920	\$4.095	\$4.270	\$4,445	\$4.620	\$4,795	\$4,970	\$33,463	¢0	\$423,674
			initiation per year	\$340,01U					54,270	\$4,445	\$4,020	\$4,795	\$4,970	\$ 33,403	Ф О	\$423,074
Architectural				2016				Sut	ototals include 4	% Inflation per ye	ar					
Architectural Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	2016 Base Cost	2017	2018	2019	Sut 2020	ototals include 4 2021	% Inflation per ye 2022	ar 2023	2024	2025	2026	2027+	Totals
Locations, Room No.				Base Cost			2019					2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208	Rusting at exterior door frame	Remove rust and paint, or replace frame		Base Cost \$500		2018						2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208	Rusting at exterior door frame Minor drywall cracks	Remove rust and paint, or replace frame Repair drywall and paint		Base Cost			2019					2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208	Rusting at exterior door frame	Remove rust and paint, or replace frame		Base Cost \$500 \$3,200		2018	2019					2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305	Rusting at exterior door frame Minor drywall cracks Reoccurring window leak	Remove rust and paint, or replace frame Repair drywall and paint Under investigation		Base Cost \$500 \$3,200 district		2018	2019					2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 305	Rusting at exterior door frame Minor drywall cracks Reoccurring window leak Missing insect screen	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen		Base Cost \$500 \$3,200 district maintenance		2018	2019 \$500					2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 305 A-10 Classroom 303, Typical Throughout Building	Rusting at exterior door frame Minor drywall cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint		Base Cost \$500 \$3,200 district maintenance \$9,990		2018	2019					2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 305, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building	Rusting at exterior door frame Minor drywall cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks		Base Cost \$500 \$3,200 district maintenance		2018	2019 \$500					2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 305 A-10 Classroom 305	Rusting at exterior door frame Minor drywall cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint		Base Cost \$500 \$3,200 district maintenance \$9,990		2018	2019 \$500					2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 305, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building	Rusting at exterior door frame Minor drywall cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks		Base Cost \$500 \$3,200 district maintenance \$9,990 \$1,500		2018	2019 \$500					2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 305, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building A-13 Cust. 313, Storage 306, Boiler Room 105 A-20 Classroom 308	Rusting at exterior door frame Minor drywall cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks Investigate Repair tile		Base Cost \$500 \$3,200 district maintenance \$9,990 \$1,500 district maintenance district		2018	2019 \$500					2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 303, Typical Throughout Building A-13 Cust. 313, Storage 306, Boiler Room 105 A-15 Storage 306	Rusting at exterior door frame Minor drywall cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB		Base Cost \$500 \$3,200 district maintenance \$1,500 district maintenance		2018	2019 \$500					2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 305, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building A-13 Cust. 313, Storage 306, Boiler Room 105 A-20 Classroom 308	Rusting at exterior door frame Minor drywall cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB Adjoin two stalls, replace partition,		Base Cost \$500 \$3,200 district maintenance \$9,990 \$1,500 district maintenance district		2018	2019 \$500					2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 305, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building A-13 Cust. 313, Storage 306, Boiler Room 105 A-20 Classroom 308	Rusting at exterior door frame Minor drywall cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install		Base Cost \$500 \$3,200 district maintenance \$9,990 \$1,500 district maintenance district		2018	2019 \$500					2024	2025	2026	2027+	Totals
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Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 305 A-10 Classroom 303, Typical Throughout Building A-13 Cuts. 313, Storage 306, Boiler Room 105 A-15 Storage 306 A-20 Classroom 308 A-23 Classroom 103 (Corr)	Rusting at exterior door frame Minor drywail cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide		Base Cost \$500 \$3,200 district maintenance \$9,990 \$1,500 district maintenance district maintenance		2018	2019 \$500			2022		2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 305, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building A-13 Cust. 313, Storage 306, Boiler Room 105 A-20 Classroom 308	Rusting at exterior door frame Minor drywall cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances		Base Cost \$500 \$3,200 district maintenance \$9,990 \$1,500 district maintenance district		2018	2019 \$500					2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 305 A-10 Classroom 303, Typical Throughout Building A-13 Cuts. 313, Storage 306, Boiler Room 105 A-15 Storage 306 A-20 Classroom 308 A-23 Classroom 103 (Corr)	Rusting at exterior door frame Minor drywail cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixure and grab bars, reconfigure entrance to provide compliant clearances Adjoin two stalls, replace partition,		Base Cost \$500 \$3,200 district maintenance \$9,990 \$1,500 district maintenance district maintenance		2018	2019 \$500			2022		2024	2025	2026	2027+	Totals
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Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 303, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building A-13 Cust. 313, Storage 306, Boiler Room 105 A-15 Storage 306 A-20 Classroom 308 A-23 Classroom 103 (Corr) A-24 Boys' 122	Rusting at exterior door frame Minor drywail cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door Toilet room is not ADA Compliant	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Adjoin two stalls, replace partition,		Base Cost \$500 \$3,200 district maintenance district maintenance district maintenance \$9,100 \$9,100		2018	2019 \$500			2022 		2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 303, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building A-115 Storage 306 A-20 Classroom 308 A-23 Classroom 103 (Corr) A-24 Boys' 122 Boys' 311 Boys' 311	Rusting at exterior door frame Minor drywail cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks Investigate Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant fixture and grab bars, reconfigure entrance to provide compliant fixture and grab bars, reconfigure entrance to provide compliant clearances		Base Cost \$500 \$3,200 district maintenance district maintenance district maintenance district maintenance \$9,900 \$1,500 \$		2018 \$3,200	2019 \$500			2022		2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 303, Typical Throughout Building A-13 Cust. 313, Storage 306, Boiler Room 105 A-15 Storage 306 A-20 Classroom 308 A-23 Classroom 103 (Corr) A-24 Boys' 122 Boys' 311 Girls 123	Rusting at exterior door frame Minor drywail cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door Toilet room is not ADA Compliant	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant fixture and grab bars,		Base Cost \$500 \$3,200 district maintenance district maintenance district maintenance \$9,100 \$9,100 \$750		2018 \$3,200	2019 \$500			2022 		2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 303, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building A-115 Storage 306 A-20 Classroom 308 A-23 Classroom 103 (Corr) A-24 Boys' 122 Boys' 311 Boys' 311	Rusting at exterior door frame Minor drywail cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door Toilet room is not ADA Compliant	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks Investigate Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant fixture and grab bars, reconfigure entrance to provide compliant fixture and grab bars, reconfigure entrance to provide compliant clearances		Base Cost \$500 \$3,200 district maintenance \$1,500 district maintenance district maintenance \$9,100 \$9,100 \$750 \$750		2018 \$3,200	2019 \$500			2022 		2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 305 A-10 Classroom 303, Typical Throughout Building A-11 Classroom 303, Typical Throughout Building A-12 Classroom 306 A-20 Classroom 308 A-23 Classroom 103 (Corr) A-24 Boys' 122 Boys' 311 Girls 123 Girls 312 Girls 312	Rusting at exterior door frame Minor drywall cracks Reoccurring window leak Missing insect screen I Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door Toilet room is not ADA Compliant Toilet room is not ADA Compliant	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks Investigate Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Adjoin two stalls, replace partition, patch/replace flooring and install compliant clearances Adjoin two stalls, replace partition, patch/replace flooring and install compliant clearances Install compliant grab bars Install compliant grab bars		Base Cost \$500 \$3,200 district maintenance district maintenance district maintenance district maintenance \$9,900 \$1,500 \$1,500 district maintenance district maintenance district maintenance \$9,100 \$750 \$750 \$750 \$750		2018 \$3,200	2019 \$500			2022 		2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 303, Typical Throughout Building A-13 Cust. 313, Storage 306, Boiler Room 105 A-15 Storage 306 A-20 Classroom 308 A-23 Classroom 103 (Corr) A-24 Boys' 122 Boys' 311 Girls 123	Rusting at exterior door frame Minor drywall cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door Toilet room is not ADA Compliant Toilet room is not ADA Compliant Minor ceramic tile cracking at base	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant fixture and grab bars,		Base Cost \$500 \$3,200 district maintenance \$1,500 district maintenance district maintenance \$9,100 \$9,100 \$750 \$750		2018 \$3,200	2019 \$500			2022 		2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 303, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building A-11 Classroom 303, Typical Throughout Building A-12 Classroom 308 A-20 Classroom 308 A-20 Classroom 103 (Corr) A-24 Boys' 122 Boys' 311 Girls 123 Girls 123 Girls 123 A-25 Toilet Rm 107A	Rusting at exterior door frame Minor drywail cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door Toilet room is not ADA Compliant Toilet room is not ADA Compliant Minor ceramic tile cracking at base Gymnasium Floor is reaching the end of its	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant telearances Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant fixture and grab bars, reconfigure entrance to provide compliant grab bars Install compliant grab bars Install compliant grab bars		Base Cost \$500 \$3,200 district maintenance \$1,500 district maintenance district maintenance \$9,100 \$9,100 \$750 \$750 district maintenance		2018 \$3,200	2019 \$500		2021	2022 		2024	2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 305 A-10 Classroom 303, Typical Throughout Building A-11 Classroom 303, Typical Throughout Building A-12 Classroom 306 A-20 Classroom 308 A-23 Classroom 103 (Corr) A-24 Boys' 122 Boys' 311 Girls 123 Girls 312 Girls 312	Rusting at exterior door frame Minor drywall cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door Toilet room is not ADA Compliant Toilet room is not ADA Compliant Minor ceramic tile cracking at base	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks Investigate Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Adjoin two stalls, replace partition, patch/replace flooring and install compliant clearances Adjoin two stalls, replace partition, patch/replace flooring and install compliant clearances Install compliant grab bars Install compliant grab bars		Base Cost \$500 \$3,200 district maintenance district maintenance district maintenance district maintenance \$9,900 \$1,500 \$1,500 district maintenance district maintenance district maintenance \$9,100 \$750 \$750 \$750 \$750		2018 \$3,200	2019 \$500			2022 			2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 303, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building A-11 Classroom 303, Typical Throughout Building A-12 Classroom 308 A-20 Classroom 308 A-20 Classroom 103 (Corr) A-24 Boys' 122 Boys' 311 Girls 123 Girls 123 Girls 123 A-25 Toilet Rm 107A	Rusting at exterior door frame Minor drywail cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door Toilet room is not ADA Compliant Toilet room is not ADA Compliant Minor ceramic tile cracking at base Gymnasium Floor is reaching the end of its	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixure and grab bars, reconfigure entrance to provide compliant clearances Adjoin two stalls, replace partition, patch/replace flooring and install compliant clearances Adjoin two stalls, replace partition, patch/replace flooring and install compliant grab bars, reconfigure entrance to provide compliant clearances Install compliant grab bars Install compliant grab bars Install compliant grab bars		Base Cost \$500 \$3,200 district maintenance \$1,500 district maintenance district maintenance \$9,100 \$9,100 \$750 \$750 district maintenance		2018 \$3,200	2019 \$500		2021	2022 				2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 303, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building A-11 Classroom 303, Typical Throughout Building A-12 Classroom 308 A-20 Classroom 308 A-20 Classroom 103 (Corr) A-24 Boys' 122 Boys' 311 Girls 123 Girls 123 Girls 123 A-25 Toilet Rm 107A	Rusting at exterior door frame Minor drywail cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door Toilet room is not ADA Compliant Toilet room is not ADA Compliant Minor ceramic tile cracking at base Gymnasium Floor is reaching the end of its useful life	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant learances Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant learances Install compliant grab bars Install compliant grab bars Install compliant grab bars Install compliant grab bars Replace damaged tile Replace flooring Replace flooring with no-wax option/new		Base Cost \$500 \$3,200 district maintenance \$1,500 district maintenance district maintenance \$9,100 \$9,100 \$750 \$750 district maintenance		2018 \$3,200	2019 \$500		2021	2022 		2024		2026		Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 303, Typical Throughout Building A-13 Cust. 313, Storage 306, Boiler Room 105 A-15 Storage 306 A-20 Classroom 308 A-23 Classroom 103 (Corr) A-24 Boys' 122 Boys' 311 Girls 123 Girls 123 Girls 312 A-25 Toilet Rm 107A A-26 Gymnasium Flooring	Rusting at exterior door frame Minor drywail cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door Toilet room is not ADA Compliant Toilet room is not ADA Compliant Minor ceramic tile cracking at base Gymnasium Floor is reaching the end of its	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Adioin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Install compliant grab bars Replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Install compliant grab bars Replace dompliant grab bars Replace damaged tile Replace flooring Replace flooring with nc-wax option/new carpet tiles (Assumes epoxy moisture		Base Cost \$500 \$3,200 district maintenance \$1,500 district maintenance district maintenance \$9,100 \$9,100 \$750 \$750 district maintenance		2018 \$3,200	2019 \$500		2021	2022 			2025	2026	2027+	Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 305 A-10 Classroom 303, Typical Throughout Building A-10 Classroom 308 A-20 Classroom 308 A-23 Classroom 103 (Corr) A-24 Boys' 122 Boys' 311 Girls 123 Girls 123 Girls 312 A-25 Toilet Rm 107A A-26 Gymnasium Flooring A-27 Throughout Building	Rusting at exterior door frame Minor drywail cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door Toilet room is not ADA Compliant Toilet room is not ADA Compliant Minor ceramic tile cracking at base Gymnasium Floor is reaching the end of its useful life	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant learances Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant learances Install compliant grab bars Install compliant grab bars Install compliant grab bars Install compliant grab bars Replace damaged tile Replace flooring Replace flooring with no-wax option/new		Base Cost \$500 \$3,200 district maintenance district maintenance district maintenance \$9,100 \$9,100 \$750 \$750 district maintenance		2018 \$3,200	2019 \$500		2021	2022 						Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 303, Typical Throughout Building A-13 Cust. 313, Storage 306, Boiler Room 105 A-15 Storage 306 A-20 Classroom 308 A-23 Classroom 103 (Corr) A-24 Boys' 122 Boys' 311 Girls 123 Girls 123 Girls 123 A-26 Gymnasium Flooring A-27 Throughout Building A-27 Throughout Building A-28 Throughout Building	Rusting at exterior door frame Minor drywall cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door Toilet room is not ADA Compliant Minor ceramic tile cracking at base Gymnasium Floor is reaching the end of its useful life Existing flooring will reach the end of its useful life Painting will be required as part of routine maintenance	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Remove rust and paint Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Adioin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Install compliant grab bars Replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Install compliant grab bars Replace dompliant grab bars Replace damaged tile Replace flooring Replace flooring with nc-wax option/new carpet tiles (Assumes epoxy moisture		Base Cost \$500 \$3,200 district maintenance district maintenance district maintenance \$9,100 \$9,100 \$750 \$750 district maintenance \$9,000 \$490,000 \$40,000		2018 \$3,200	2019 \$500		2021	2022 		\$40,000				Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 303, Typical Throughout Building A-10 Classroom 303, Typical Throughout Building A-11 Classroom 303, Typical Throughout Building A-13 Cust. 313, Storage 306, Boiler Room 105 A-15 Storage 306 A-20 Classroom 308 A-23 Classroom 103 (Corr) A-24 Boys' 122 Boys' 311 Girls 123 Girls 123 Girls 312 A-25 Toilet Rm 107A A-26 Gymnasium Flooring A-27 Throughout Building A-28 Throughout Building A-29 Furniture Replacement: 21 Classrooms	Rusting at exterior door frame Minor drywail cracks Reoccurring window leak Missing insect screen IRust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door Toilet room is not ADA Compliant Minor ceramic tile cracking at base Gymnasium Floor is reaching the end of its useful life Existing flooring will reach the end of its useful life	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Repowe rust and paint Repair drywall and paint Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Install compliant grab bars Install compliant grab bars Install compliant grab bars Replace flooring Replace flooring Replace flooring with no-wax option/new carpet tiles (Assumes epoxy moisture mitigation system already in place)		Base Cost \$500 \$3,200 district maintenance district maintenance district maintenance \$9,100 \$9,100 \$750 \$750 district maintenance \$58,000 \$490,000 \$440,000 \$281,400		2018 \$3,200	2019 \$500		2021	2022 		\$40,000 \$281,400				Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 303 A-10 Classroom 303, Typical Throughout Building A-13 Cust. 313, Storage 306, Boiler Room 105 A-15 Storage 306 A-20 Classroom 308 A-23 Classroom 103 (Corr) A-24 Boys' 122 Boys' 311 Girls 123 Girls 123 Girls 312 A-26 Gymnasium Flooring A-27 Throughout Building A-28 Throughout Building	Rusting at exterior door frame Minor drywall cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door Toilet room is not ADA Compliant Minor ceramic tile cracking at base Gymnasium Floor is reaching the end of its useful life Existing flooring will reach the end of its useful life Painting will be required as part of routine maintenance	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Repowe rust and paint Repair drywall and paint Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Install compliant grab bars Install compliant grab bars Install compliant grab bars Replace flooring Replace flooring Replace flooring with no-wax option/new carpet tiles (Assumes epoxy moisture mitigation system already in place)		Base Cost \$500 \$3,200 district maintenance district maintenance district maintenance \$9,100 \$9,100 \$750 \$750 district maintenance \$9,000 \$490,000 \$40,000		2018 \$3,200	2019 \$500		2021	2022 		\$40,000				Totals
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 305 A-10 Classroom 303, Typical Throughout Building A-13 Cust. 313, Storage 306, Boiler Room 105 A-15 Storage 306 A-20 Classroom 308 A-23 Classroom 103 (Corr) A-24 Boys' 122 Boys' 311 Girls 123 Girls 123 Girls 312 A-25 Toilet Rm 107A A-26 Gymnasium Flooring A-27 Throughout Building A-28 Throughout Building A-29 Furniture Replacement: 21 Classrooms	Rusting at exterior door frame Minor drywall cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door Toilet room is not ADA Compliant Minor ceramic tile cracking at base Gymnasium Floor is reaching the end of its useful life Existing flooring will reach the end of its useful life Painting will be required as part of routine maintenance	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Repowe rust and paint Repair drywall and paint Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Install compliant grab bars Install compliant grab bars Install compliant grab bars Replace flooring Replace flooring Replace flooring with no-wax option/new carpet tiles (Assumes epoxy moisture mitigation system already in place)	Architectural Subtotals at 4% Inflation per	Base Cost \$500 \$3,200 district maintenance district maintenance district maintenance \$9,100 \$9,100 \$9,100 \$750 district maintenance \$9,100 \$750 \$750 district maintenance \$49,000 \$490,000 \$40,000 \$120,000		2018 \$3,200	2019 \$500 \$9,900		2021	2022 		\$40,000 \$281,400 \$120,000		\$163,333	\$326,667	
Locations, Room No. A-03 MultiPurpose Room 208 A-04 MultiPurpose Room 208 A-08 Classroom 305 A-09 Classroom 305 A-10 Classroom 303, Typical Throughout Building A-13 Cust. 313, Storage 306, Boiler Room 105 A-15 Storage 306 A-20 Classroom 308 A-23 Classroom 103 (Corr) A-24 Boys' 122 Boys' 311 Girls 123 Girls 123 Girls 312 A-25 Toilet Rm 107A A-26 Gymnasium Flooring A-27 Throughout Building A-28 Throughout Building A-29 Furniture Replacement: 21 Classrooms	Rusting at exterior door frame Minor drywall cracks Reoccurring window leak Missing insect screen Rust/peeling paint at interior door frame Existing doors have knob hardware Staining of tectum deck Floor tile delaminating at doorway VCB delaminating near door Toilet room is not ADA Compliant Minor ceramic tile cracking at base Gymnasium Floor is reaching the end of its useful life Existing flooring will reach the end of its useful life Painting will be required as part of routine maintenance	Remove rust and paint, or replace frame Repair drywall and paint Under investigation Install screen Repowe rust and paint Repair drywall and paint Replace with levers and locks Investigate Repair tile Add mastic to adhere VCB Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Adjoin two stalls, replace partition, patch/replace flooring and install compliant fixture and grab bars, reconfigure entrance to provide compliant clearances Install compliant grab bars Install compliant grab bars Install compliant grab bars Replace flooring Replace flooring Replace flooring with no-wax option/new carpet tiles (Assumes epoxy moisture mitigation system already in place)		Base Cost \$500 \$3,200 district maintenance district maintenance district maintenance \$9,100 \$9,100 \$750 \$750 district maintenance \$58,000 \$490,000 \$440,000 \$281,400		2018 \$3,200	2019 \$500		2021	2022 		\$40,000 \$281,400	2025			Totals

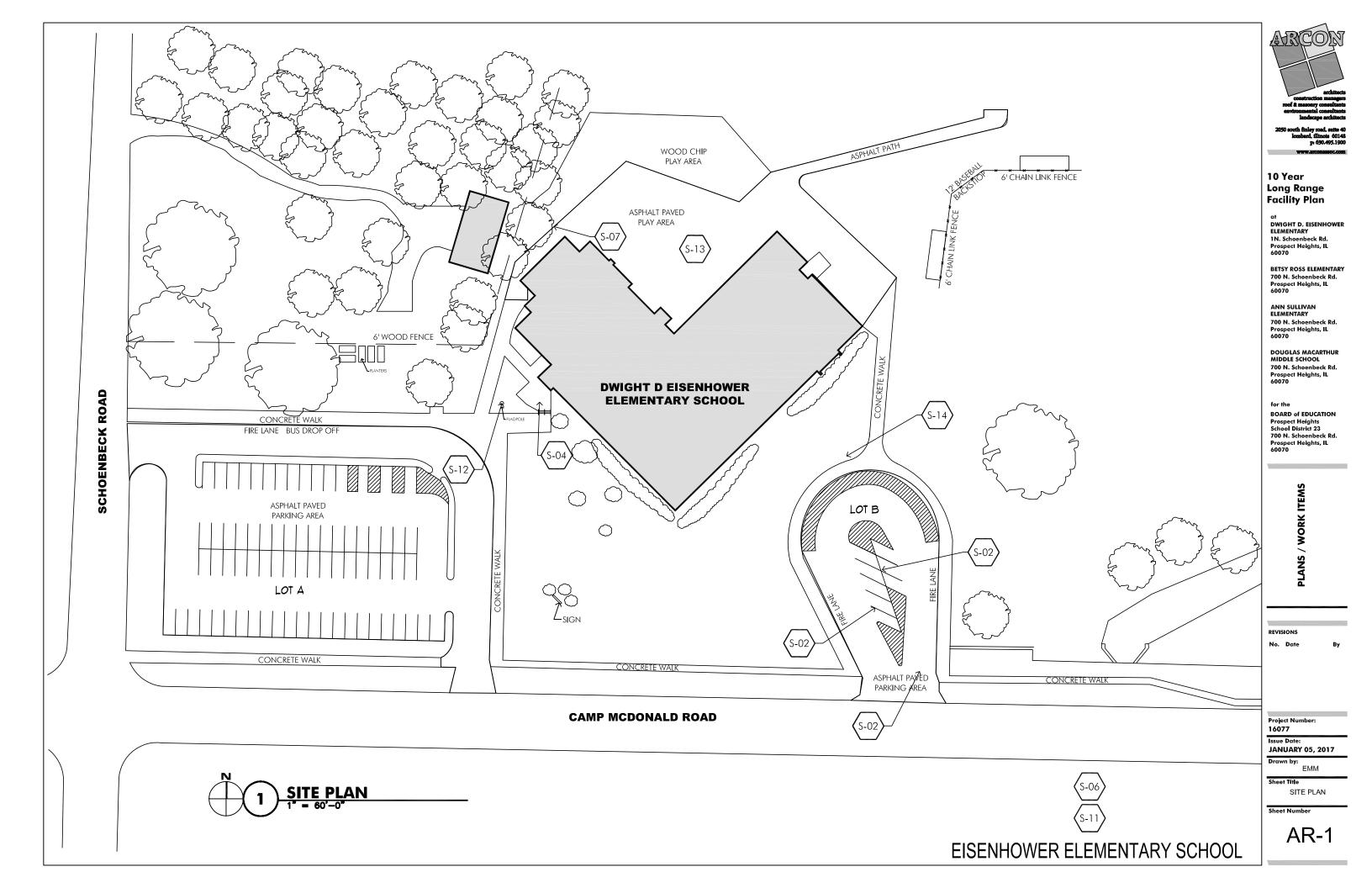


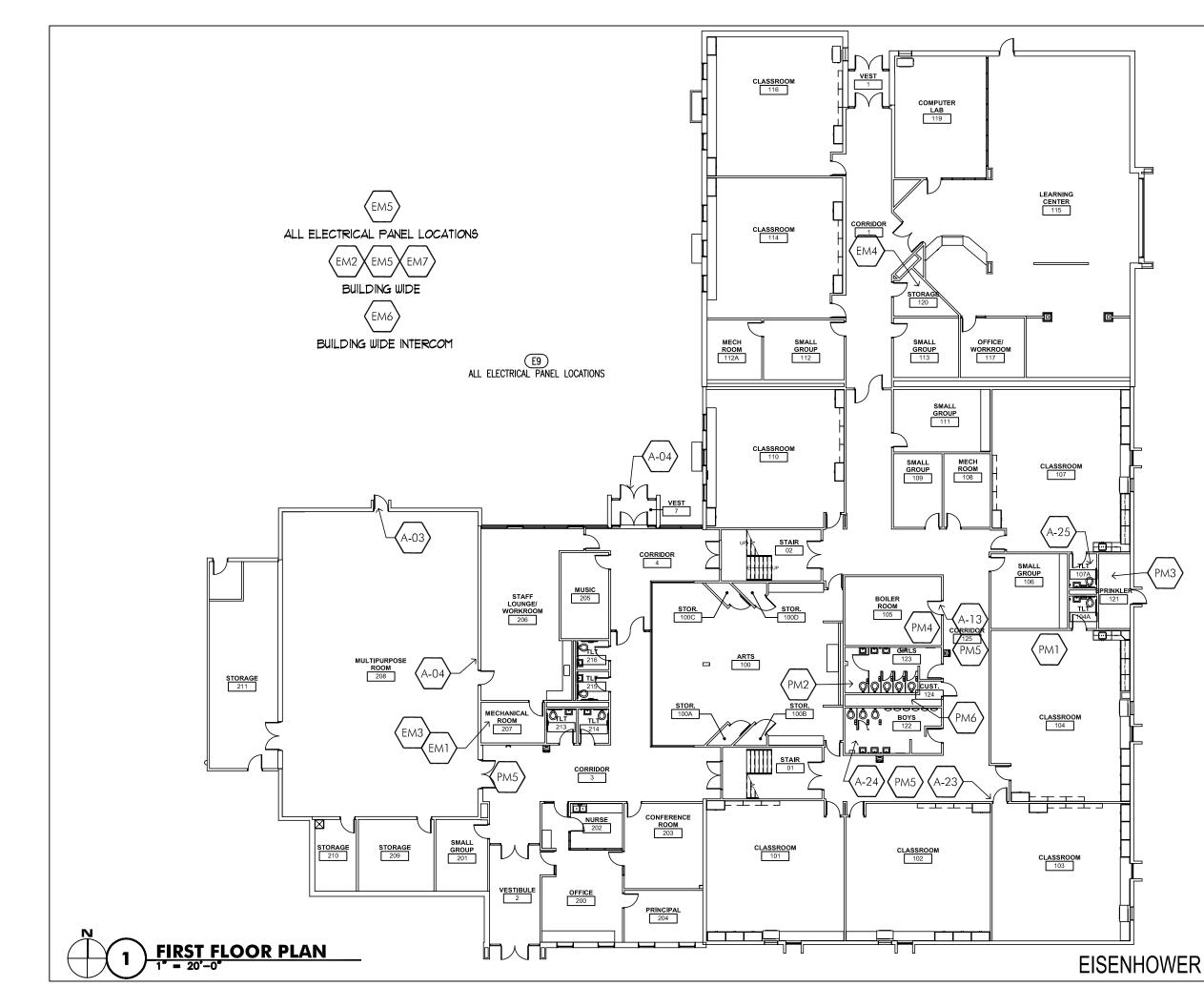


Eisenhower Elementary School 01.05.17 Updated Report

Electrical					2016				Su	ubtotals include 4% I	Inflation per vear						
	Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
EM-1	Mechanical Room 207, Boiler Room 105,	Abandoned LV cable	Remove abandoned obsolete cables.		\$2,000	\$2,000				í							
EM-2	Building Wide	Non Addressable FA devices	Replace with addressable devices.		\$8,800				\$8,800	í T							
										í l				í l			
	Mech room 207	Wall Mount Occupancy Sensor does not work.	Replace sensor.		\$50	\$50				ı				1			
EM-4	Storage 120	Provide cable organization of Data rack			\$1,500		\$1,500										
		Replace existing aging clock system with								ı – – – – – – – – – – – – – – – – – – –				1			
EM-5	Building Wide	wireless clocks			\$8,500				\$8,500	· · · · · · · · · · · · · · · · · · ·							
			Expand with Rauland TCU. Allows							i –				1			
			district wide notification system and							i –				1			
EM-6	Building Wide Intercom	Expand existing system to district wide system			\$6,000				\$6,000	·				↓			
			Each receptacle is approx \$25 material							i –				1			
			cost only. Additionally in older construction installation may be difficult							i –				1			
			or not possible. USB charging type							i –				1			
			receptacles are considerably deeper the							ı – – – – – – – – – – – – – – – – – – –				1			
			15A or 20A standard commercial grade							i –				1			
			receptacles. Existing back boxes in							ı – – – – – – – – – – – – – – – – – – –				1			
		Change receptacles to new with USB chargers								i –				1			
EM-7	Entire Building	built in.	depth.							i –				1			
	Entro Editality		dopun	Electrical Subtotals at 4% Inflation per year	\$26,850	\$2,132	\$1,620	\$0	\$27,261	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$31,013
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Mechanica	al																
	Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
										í l				1		-	
										í l				í l			
															/	/	
				Mechanical Subtotals at 4% Inflation per year	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$C
										í L							
Plumbing					2016					ubtotals include 4% I							
	Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
		All water closets are rated at 3.5 gallons per								i –				1			
		flush (GPF). Substantial water savings can be								i –				1			
	T 1 / D / 0 / 0 / 0 / 0 / 0 / 0	achieved by utilizing water closets rated at 1.6			00 500					60 500				1			
PM-1	Toilet Rooms 104A and 107A	or 1.28 GPF.	Sense" certified fixtures.		\$2,500					\$2,500				┢─────┼			
		Diumbing fightures are ald and antiqueted	Deplese plumbing futures and accide							ı I				1 I			
DM 2	Pour 122 Cirls 122 Pour 211 and Cirl- 212	Plumbing fixtures are old and antiquated,	Replace plumbing fixtures and provide		\$465 000					1 I				i I	\$465 000		
PM-2	Boys 122, Girls 123, Boys 311 and Girls 312	piping in walls is galvanized piping. Domestic water service does not have a	new water supply piping in wall/chases.		\$165,000	<u> </u>				 				┌──── ┼	\$165,000	ł	
		Reduced Pressure Zone backflow preventer								ı I				1 I			
PM-3	Sprinkler 121	assembly.	Provide RPZ at water service.		\$7.500					\$7,500				i I			
141-0		RPZ at boiler make-up is above 5 feet and	Move RPZ to within 5 feet of floor and		ψι,500					φ1,500				r+		+	
PM-4	Boiler Room 105	does not have a drain.	pipe relief to nearest floor drain.		\$1.000		\$1.000			ı I				1 I			
			Replace electric water coolers. Provide		÷.,000		<i><i><i>ψ</i>.,000</i></i>			+				+			
PM-5	All Electric Water Coolers	(5) Electric water coolers are old and worn.	model with water filter for lead removal.		\$12,500	\$12,500				ı I	1			i			
		Existing mop sink faucet does not allow for			, ,	1 1.00											
		code compliant connection to chemical	Provide faucet with diverter and RPZ							ı I				1 I			
PM-6	Janitors Closets	dispensing cleaning equipment.	backflow assembly.		\$4,500		\$4,500			<u> </u>				<u> </u>			
				Plumbing Subtotals at 4% Inflation per year	\$193,000	\$13,000	\$5,940	\$0	\$0	\$12,200	\$0	\$0	\$0	\$0	\$244,200	\$0	\$275,340
										1							
			1	Subtotal	\$2,413,860	\$114,816	\$387,353	\$535,808	\$38,376	\$104,627	\$28,829	\$4,620	\$630,419	\$4,970	\$520,876	\$873,129	
				10% Design Contingency	\$241,386	\$11,482	\$38,735 \$38,735	\$53,581	\$3,838	\$10,463	\$2,883 \$2,883	\$462 \$462	\$63,042	\$497	\$52,088	\$87,313	
				10% Construction Contingency	\$241,386	\$11,482		\$53,581	\$3,838	\$10,463			\$63,042	\$497	\$52,088	\$87,313	
				8% A/E Fee Contingency	\$193,109	\$9,185	\$30,988	\$42,865	\$3,070	\$8,370	\$2,306	\$370			\$41,670	\$69,850	
				TOTAL	\$3,089,741	\$146,964	\$495,812	\$685,834	\$49,121	\$133,923	\$36,901	\$5,914	\$806,937	\$6,362	\$666,721	\$1,117,605	
District C:																	
District of	apital Equipment				2016				Su	ubtotals include 4% I							
District of	apital Equipment Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	2016 Base Cost	2017	2018	2019	St 2020	ubtotals include 4% I 2021	Inflation per year 2022	2023	2024	2025	2026	2027+	Totals
District of		Description of Work Item	Recommended Corrective Measure			2017	2018	2019	2020			2023	2024	2025	2026	2027+	Totals
		Description of Work Item	Recommended Corrective Measure	District Capital Equipment at 4% Inflation per		2017	2018	2019	2020			2023	2024	2025	2026	2027+	Totals
		Description of Work Item	Recommended Corrective Measure			\$0	2018 \$0 \$495,812	2019 \$0 \$685.834	2020 \$0	2021 \$0		2023 \$0 \$5,914	\$0	2025 \$0 \$6,362	2026 \$0 \$666,721	2027+ \$0 \$1,117,605	\$0



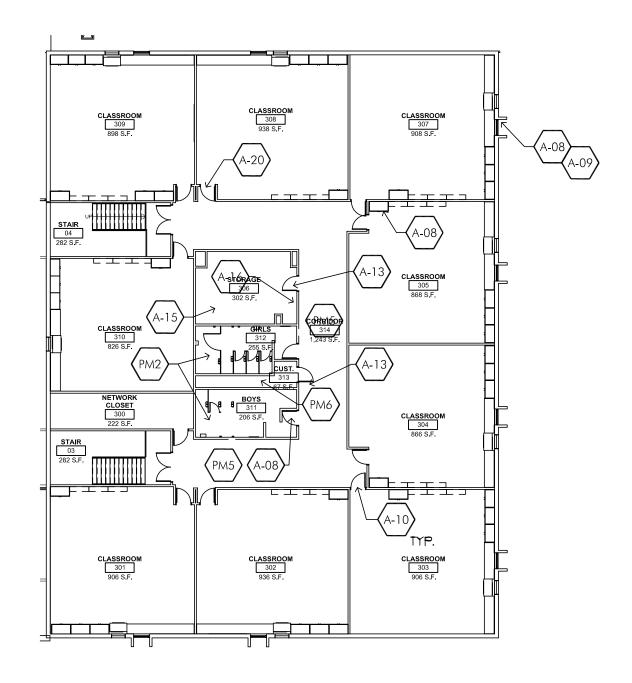




2050 south finlsy road, suite 40 lombard, filinois 60148 p: 630.495.1900 www.srconassoc.com
10 Year Long Range Facility Plan at
DWIGHT D. EISENHOWER ELEMENTARY 1N. Schoenbeck Rd. Prospect Heights, IL 60070
BETSY ROSS ELEMENTARY 700 N. Schoenbeck Rd. Prospect Heights, IL 60070
ANN SULLIVAN ELEMENTARY 700 N. Schoenbeck Rd. Prospect Heights, IL 60070
DOUGLAS MACARTHUR MIDDLE SCHOOL 700 N. Schoenbeck Rd. Prospect Heights, IL 60070
for the BOARD of EDUCATION Prospect Heights School District 23 700 N. Schoenbeck Rd. Prospect Heights, IL 60070
PLANS / WORK ITEMS
РГАИ
REVISIONS No. Date By
Project Number: 16077
Issue Date: JANUARY 05, 2017 Drawn by:
EMM Sheet Title FIRST FLOOR PLAN Sheet Number
AR-2

ATRCON construction managem

construction managers roof & masonry consultants environmental consultants landscape architects







ard, illinois 60148 p: 630.495.1900

10 Year Long Range Facility Plan

ar DWIGHT D. EISENHOWER ELEMENTARY 1N. Schoenbeck Rd. Prospect Heights, IL 60070

BETSY ROSS ELEMENTARY 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

ANN SULLIVAN ELEMENTARY

700 N. Schoenbeck Rd. Prospect Heights, IL 60070

DOUGLAS MACARTHUR MIDDLE SCHOOL 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

for the

BOARD of EDUCATION Prospect Heights School District 23 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

PLANS / WORK ITEMS REVISIONS No. Date Ву Project Number:

16077

Issue Date: JANUARY 05, 2017

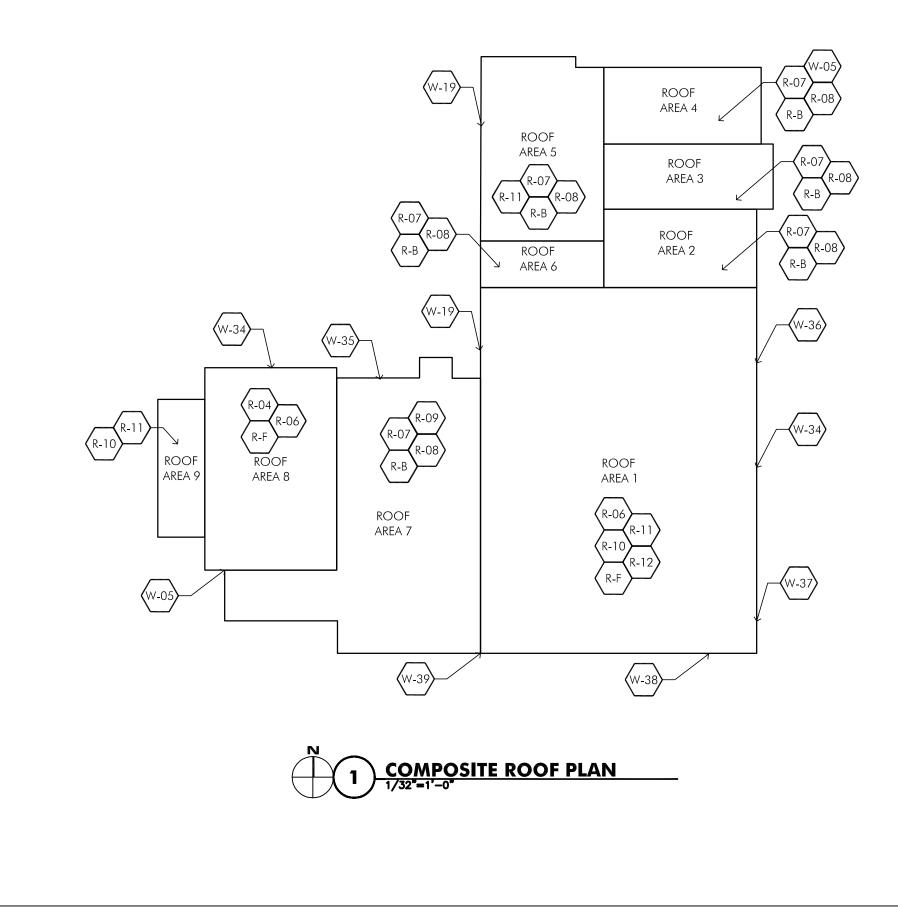
Drawn by: EMM

Sheet Title SECOND FLOOR PLAN

Sheet Number

EISENHOWER ELEMENTARY SCHOOL

AR-3





inley road, suite 40 ard, filinois 60148 p: 630.495.1900

10 Year Long Range Facility Plan

at DWIGHT D. EISENHOWER ELEMENTARY 1N. Schoenbeck Rd. Prospect Heights, IL 60070

BETSY ROSS ELEMENTARY 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

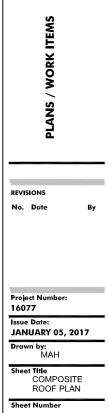
ANN SULLIVAN ELEMENTARY

700 N. Schoenbeck Rd. Prospect Heights, IL 60070

DOUGLAS MACARTHUR MIDDLE SCHOOL 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

for the

BOARD of EDUCATION Prospect Heights School District 23 700 N. Schoenbeck Rd. Prospect Heights, IL 60070



EISENHOWER ELEMENTARY SCHOOL

AR-4

10 Year Long Range Facility Plan Prepared for Prospect Heights School District 23



Owner: Board of Education Prospect Heights School District 23 700 N. Schoenbeck Road Prospect Heights, Illinois 60070



Architect:

ARCON Associates, Inc. 2050 South Finley Road, Suite 40 Lombard, Illinois 60148 Project No. 16077

Mechanical/ Electrical / Plumbing: 20/10 Engineering 1216 Tower Road Schaumburg, Illinois 60173



January 05, 2017



MacArthur Middle School 01.05.17 Updated Report

Site					2016				S	ubtotals include 4	% Inflation per ye	ear					
	Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
S-01	Exterior Soffit	Building envelope is not weathertight at soffit t wall condition	o Under investigation		thd		tbd										
	Parking Lot- Various Locations, End of SE	Existing cracking, alligatoring, and/or general	-														i
S-02	Drive	deterioration requires asphalt patching Wood landscape timbers are bowed and/or	Patch asphalt		\$38,600		\$38,600										l
S-07	West Landscaping	deteriorating	Replace damaged wood timbers		\$1,400			\$1,400									
S-10	Loading Dock	Concrete at loading dock is deteriorating, reba exposed	Replace damaged section of concrete		\$6,400		\$6,400										ļ
S-06	Parking Lots, Playground, Paths	Life of lots will be extended with preventative maintenance		Crackfill/Sealcoat on a 3-Year Cycle, Re-stripe lots/curb													ļ
	Lot A Lot B				\$9,500 \$7,640		\$9,500 \$7,640			\$9,500 \$7,640			\$9,500 \$7,640				
S-15	Parking Lots	Asphalt lots require replacement at end of expected life	Replace asphalt parking lot (retain existing stone)														1
0 10	Lot A		one ang eterio)		\$213,750							\$213,750					í
	Lot B				\$171,900							\$171,900					1
S-17	Athletic Fields	Uneven surface/potholes create trip hazards	Regrade fields														1
	Sidewalks	Annual sidewalk maintenance		Replace damaged concrete pads	\$1,000		\$1,000		\$1,000		\$1,000		\$1,000		\$1,000		1
				Site Subtotals at 4% Inflation per year	\$450,190	\$0	\$68,191	\$1,568	\$1,170	\$20,911	\$1,270	\$509,058	\$24,852	\$0	\$1,480	\$0	\$628,500
										I			I				l
Building I	Envelope (Walls / Masonry)				2016					ubtotals include 4			-				!
	Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
W-01 (R)	East and South wall of Roof Area 7.0, South Wall of Roof Area 9.0	Deteriorated masonry mortar joints	Grind and point deteriorated masonry	Grind and point deteriorated masonry	\$37,500	\$37,500											
W-03	Southwest Elevation Area 21, North Area 9	Damaged brick	Remove and replace damaged brick	Remove and replace damaged brick	\$500	\$500											,)
W-04	Loading dock	Deteriorated concrete	Form and repair affected area	Form and repair affected area	\$2,500	\$2,500											,)
W-05 (R)	Roof Area 7.0 (4), 9.0 (1)	Deteriorated sealant at vertical masonry contro joints	Remove sealant, clean and prime joint, install joint backer rod and sealant	Remove sealant, clean and prime joint, install joint backer rod and sealant	\$5,000	\$5,000											
	East Elevation Area 17 (5), North Elevation																()
W-05	Area 17 (2), West Elevation (6), North Elevation (2)	Deteriorated sealant at vertical masonry contro joints	ol Remove sealant, clean and prime joint, install joint backer rod and sealant	Remove sealant, clean and prime joint, install joint backer rod and sealant	\$19,000	\$19,000											
W-06	North Elevation Area 14	Rowlock masonry sills without flashing	Remove rowlock masonry sills, install flashing and new limestone sills	Monitor and decide if necessary													
W-07	South Elevation typical	Landscaping over top of foundation wall		Monitor													1
	East Elevation, North Elevation, East	Intrusive investigation of wood siding complete	e, substrate as required. Discuss exterior	Maintain as needed until replacement; Remove 5/8' tongue and groove vertical siding. Install new ice and water shield underlayment and new 12' wide, 24 ga. Steel Peterson Flush Panels and associated trim. **Additional finish options	0 // 770						6 / / 3 7						
W-08 W-09	Elevation Area 11, West Elevation Area 15 Northwest Elevation Area 8	siding found to be in deteriorating conditions Deterioration at top of foundation wall	finish options. Form and repair affected area	being considered.	\$44,770 \$500	\$500					\$44,770						(
**-09	Northwest Elevation Alea o		Prime and paint rusted bulb tee along	Form and repair affected area Prime and paint rusted bulb tee along interior	006¢	ესიდ				1			1				(
W-17 W-21	North Elevation Area 9 At Main Entrance	Rusted bulb tee along interior edge Rusting at roof support columns	interior edge	edge Prime and paint roof support columns	\$1,500 \$500	\$1,500 \$500											l
	West Elevation Area 15 & 16 (7), North Elevation Area 16 (12), East Elevation Area 15		Prime and paint exposed steel / angles /	Prime and paint exposed steel / angles / door													
W-24	(24) East and West Elevation Area 16 (2), East	Exposed steel / angles / door frames	door frames Prime and paint exposed flange of steel	frames	\$3,500	\$3,500											
W-26	Elevation Area 15 (4)	Exposed flange of steel column	column	Prime and paint exposed flange of steel column	\$1,500	\$1,500											<u>ا</u>
W-27	East Elevation Area 15	Damaged metal fascia and plaster soffit	Repair damaged metal fascia and plaster soffit	Repair damaged metal fascia and plaster soffit	\$1,500	\$1,500											
W-28 W-29	South Elevation Area 17 South Elevation Area 19	Open joint at top of louver vent Damaged louver vent	Seal top of louver vent Repair and re-align louver vent and re- seal top joint	Repair and re-align louver vent and re-seal top	\$500 \$500	\$500 \$500											
W-29 W-30	South Elevation Area 19 (9)	Repair and paint deteriorated wood	Repair and paint deteriorated wood	Repair and paint deteriorated wood	\$1,500	\$1,500				1							[]
W-31	South Elevation Area 19	Repair damaged downspout	Replace downspout	Replace downspout	\$250	\$250											
	West Elevation above Door 17	Deteriorated panel 15 Moisture Infiltration at Orchestra room where	Replace panel 15	Replace panel 15	\$500	\$500											
W-33 W-34	Southwest Corner of Area 21 Throughout Building	floor is below grade Minor rust, deterioration of paint at exterior doors	Investiagte Paint exterior doors and/or frames and add drip cap	Investigate	\$12,500			\$12,500									
W-34	East Elevation	Grafitti present at east wall	Remove grafitti		district maintenance			ψ1 <u>2</u> ,000									·
W-38	South Elevation	Existing vegetation growing on upper wall	Remove vegetation to eliminate deterioration of mortar joints		district maintenance												
			Replace wood canopy and metal														
W-39 W-41	North Canopy Door 17	Metal supports are rusting Weatherstripping is bent	supports with exterior metal panel Replace hardware		\$12,000 \$500			\$12,000					\$500				i
	Door 15	Deterioration of panel	Replace panel		\$600								\$600				l
				Building Envelope (Walls/Masonry) Subtotals													
				at 4% Inflation per year	\$147,120	\$79,820	\$0	\$27,440	\$0	\$0	\$56,858	\$0	\$1,507	\$0	\$0	\$0	\$165,625
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MacArthur Middle School 01.05.17 Updated Report

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Building	Envelope (Roofing) Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	2016 Base Cost	2017	2018	2019	2020 Su	btotals include 4 2021	% Inflation per ye 2022	2023	2024	2025	2026	2027+	Totals
R-02	Roof Area 9.0	Damage / deteriorated skylight	Replace skylight dome	Replace skylight dome	\$750		\$750										
R-07	Random throughout Roof Area 8.0, 15.0, 16.0, 17.0, 20.0	Blistering of roof membrane	No action at this time, monitor	Monitor roof condition and performance. provide preventive maintenance as required													
D 00	Random throughout Area 8.0, 15.0, 16.0, 17.0			Monitor roof condition and performance. Provide													
R-08	Random throughout Roof Area 1.0, 2.0, 3.0,	Previous patching of roof membrane	No action at this time, monitor	preventive maintenance as required													
R-14	4.0, 5.0, 6.0, 7.0, 9.0, 10.0, 12.0, 13.0, 14.0, 18.0, 19.0, 21.0	Organic growth of some type on all roof membranes with white coating	No action at this time, monitor	Monitor roof condition and performance. Provide preventive maintenance as required													<u> </u>
R-15	Random throughout Roof Area 1.0, 2.0, 3.0, 4.0, 5.0, 6.0, 7.0, 9.0, 10.0, 12.0, 13.0, 14.0, 18.0, 19.0, 21.0	Deterioration / delamination of white coating due to ponding water	No action at this time, monitor	Monitor roof condition and performance. Provide preventive maintenance as required													l
DA 4.0		Roof area has reached the end of its		Monitor roof condition and performance. Provide	¢100.000				\$100.000								
RA-1.0		serviceable life Roof area has reached the end of its	Replace roof area	preventive maintenance as required Monitor roof condition and performance. Provide	\$196,300				\$196,300								
RA-2.0		serviceable life Roof area has reached the end of its	Replace roof area	preventive maintenance as required Monitor roof condition and performance. Provide	\$61,100				\$61,100								
RA-3.0		serviceable life	Replace roof area	preventive maintenance as required	\$52,650				\$52,650								
RA-4.0		Roof area has reached the end of its serviceable life	Replace roof area	Monitor roof condition and performance. Provide preventive maintenance as required	\$81,510				\$81,510								
RA-5.0		Roof area has reached the end of its	Poplace roof area	Monitor roof condition and performance. Provide	\$7,670				\$7,670								
KA-5.0		serviceable life Roof area has reached the end of its	Replace roof area	preventive maintenance as required Monitor roof condition and performance. Provide	\$7,670				\$7,670								
RA-6.0		serviceable life Roof area has reached the end of its	Replace roof area	preventive maintenance as required Monitor roof condition and performance. Provide	\$168,220				\$168,220								
RA-7.0		serviceable life	Replace roof area	preventive maintenance as required	\$70,980				\$70,980								
RA-8.0		Roof area has reached the end of its serviceable life	Replace roof area	Monitor roof condition and performance. Provide preventive maintenance as required	\$195,000					\$195,000							
		Roof area has reached the end of its		Monitor roof condition and performance. Provide					\$054.004	,							
RA-9.0		serviceable life Roof area has reached the end of its	Replace roof area	preventive maintenance as required Monitor roof condition and performance. Provide	\$354,094				\$354,094								
RA-10.0		serviceable life Roof area has reached the end of its	Replace roof area	preventive maintenance as required Monitor roof condition and performance. Provide	\$10,140				\$10,140								
RA-11.0		serviceable life	Replace roof area	preventive maintenance as required	\$9,750										\$9,750		ı.
RA-12.0		Roof area has reached the end of its serviceable life	Replace roof area	Monitor roof condition and performance. Provide preventive maintenance as required	\$15,600				\$15,600								
		Roof area has reached the end of its		Monitor roof condition and performance. Provide													
RA-13.0		serviceable life Roof area has reached the end of its	Replace roof area	preventive maintenance as required Monitor roof condition and performance. Provide	\$16,510				\$16,510								
RA-14.0		serviceable life	Replace roof area	preventive maintenance as required	\$29,900				\$29,900								
RA-15.0		Roof area has reached the end of its serviceable life	Replace roof area	Monitor roof condition and performance. Provide preventive maintenance as required	\$313,690					\$313,690							
DA 16.0		Roof area has reached the end of its serviceable life	Replace roof area	Monitor roof condition and performance. Provide	¢00,490					\$90,480							
RA-16.0		Roof area has reached the end of its		preventive maintenance as required Monitor roof condition and performance. Provide	\$90,480					\$90,480							
RA-17.0		serviceable life Roof area has reached the end of its	Replace roof area	preventive maintenance as required Monitor roof condition and performance. Provide	\$218,920					\$218,920							
RA-18.0		serviceable life	Replace roof area	preventive maintenance as required	\$3,770				\$3,770								
RA-19.0		Roof area has reached the end of its serviceable life	Replace roof area	Monitor roof condition and performance. Provide preventive maintenance as required	\$425,750				\$425,750								1
		Roof area has reached the end of its		Monitor roof condition and performance. Provide						\$00 F 40							
RA-20.0		serviceable life Roof area has reached the end of its	Replace roof area	preventive maintenance as required Monitor roof condition and performance. Provide	\$20,540					\$20,540							
RA-21.0	all roof areas	serviceable life Preventive maintenance	Replace roof area Preventive maintenance	preventive maintenance as required	\$246,740 \$7,000	\$7,000	\$7,000	\$7,000	\$246,740 \$7,000	\$7,000	\$7,000	\$7,000	\$7,000	\$7,000	\$7,000		
	RA 1.0, 2.0, 3.0, 4.0, 5.0, 6.0, 7.0, 9.0, 10.0,	Modified bitumen (mb) roof membrane with			\$7,000	ψ1,000	φ1,000	ψ1,000	ψ1,000	\$7,000	\$7,000	\$7,000	ψ1,000	\$7,000	\$7,000		
A	12.0, 13.0, 14.0, 18.0, 19.0, 21.0	white surfacing Modified bitumen (mb) roof membrane with															
С	RA 8.0, 15.0, 16.0, 17.0, 20.0 RA 11.0	black granule surfacing EPDM adhered roof membrane															
				Building Envelope (Roofing) Subtotals at 4% Inflation per year	\$2,597,064	\$7,280	\$8,370	\$7,840	\$2,045,083	\$1,031,669	\$8,890	\$9,240	\$9,590	\$9,940	\$24,790	\$0	\$3,162,691
Architect					2016				Su	btotals include 4	% Inflation per ye	ar					
	Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
	Exterior Doors (Vestibule 191, Gymnasium 300, Vest 129A, Vest W of 311, Corr 210A,																ļ
A-01	Vest 129A, Corr S of Sto 121, Vest adjacent to Art 309)	Rusting at exterior door frame	Remove rust and paint, or replace frame (cost to prep/repaint)		\$2,000			\$2,000									ļ
10-01	Classrooms 413, 415, Home Ec Lab 315, Girls' Toilet 312, Cafeteria 600, Classroom				φ2,000			ψ2,000									·
	201, Classroom 209, Sto 306, Sto 304A,																1
A-03	Office 305B, Orchestra 307, Art Room 309, IT 311, Classroom 310	Cracking at interior masonry wall	Clean and prep exist wall crack. Install sealant and backer rod. Paint.		\$4,900		\$4,900										ļ
A-06	Boys Toilet Room 410 Boys Toilet Room 410, Toilet 412, Girls'	Sight line issue at existing toilet room	Reconfigure Urinal Layout		\$12,600						\$12,600						
	Locker Room 304, Boys' Locker Room 303,		Replace damaged tile (cost for patching														ļ
A-07	Boys' 213 Prep Room 501, Nurse Toilet, Office 105,	Ceramic tile cracking or missing	only) Replace damaged tile and investigate		\$3,100 district		\$3,100										
A-08	Toilet 216, Office 302	Ceiling tile is stained	cause of stains		maintenance												
A-09	Classrooms 409, 408, Additional rooms along corridor	Door is beyond its useful life	Age of door warrants replacement		\$17,500								\$17,500				
A-17	Home Ec Lab 315	Ceiling tile is missing	Replace ceiling tile		district maintenance			T									
			Replace windows with energy efficient		46-4												·
A-18 A-19	Throughout Building as tagged Industrial Tech 313, Classroom 507	Windows are not thermally broken Sealant joint has deteriorated	units Replace sealant at joint		IDO												
A-21	Classroom 406	Existing wiremold not securely anchored to wa			district maintenance												
A-21 A-22	Throughout Building- Interior	Door frame paint is chipping	Repaint interior door frames		\$23,000			\$23,000									





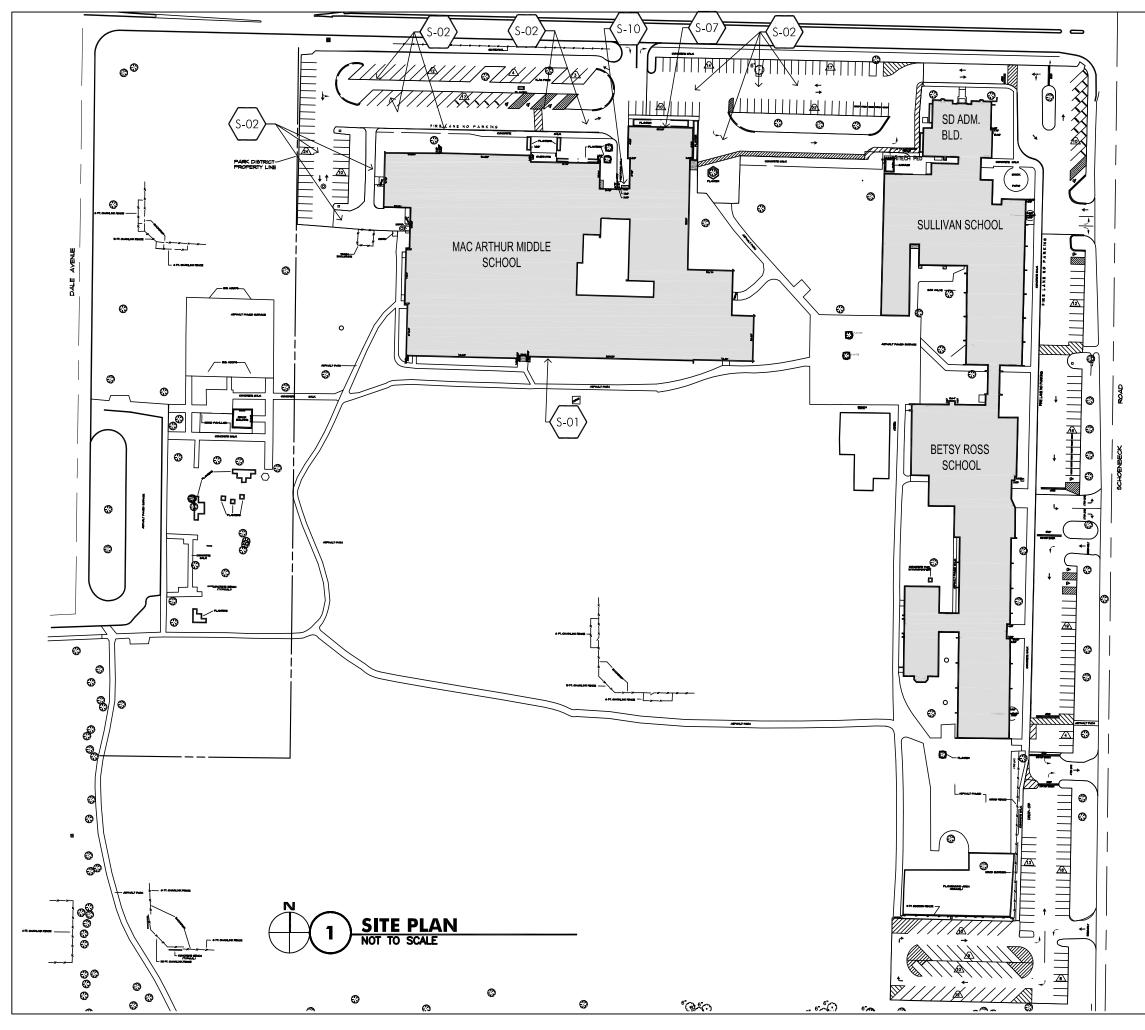
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MacArthur Middle School														1		NEERING
01.05.17 Updated Report															ĞRÖÜF	NEERING PLLC
				district	г			T	1 1					r		
A-23 Classroom 404	Wood trim missing at window lite	Replace trim		maintenance												
Toilet Room 314, Sto 512 A&B, Classroom																
200 Sto (Typ. Sto. Doors this Wing), Maint 136, Office 302, Sto 116A, Stage Stair, Band																
A-25 305)	Existing doors have knob hardware	Replace with levers and locks		\$6,000								\$6,000				
A-26 Classroom 506, IT 311, Classroom 310	Minor peeling/cracking of paint	Prep wall and repaint		\$1,050			\$1,050)								
A-33 Boys' Toilet 518, Girls' Toilet 514	ADA stall requires grab bar for compliance	Add grab bar		\$3,000						\$3,000						
A-35 Classroom 512	Minor rust present at interior column	Remove rust, prep and paint		\$500			\$500)								
A-38 Storage 609, Stage Stair	Black mastic present/Older tile	Confirm no acm (budget to abate and replace)		\$3,900							\$3,900					
A-30 Storage 003, Stage Stail	Diack mastic present/Older tile	Teplace)		district							ψ3,300					
A-40 Classroom 200	Wall base delaminating	Add mastic to adhere base		maintenance												
				district												
A-45 Classroom 202	Damaged insect screens	Replace screens		maintenance												
A-48 Band 305	Mechanical system is noisy	Poplace partition walls with permanent														
A-52 Throughout Building	Operable partition walls exhibit poor acoustical performance	wall construction		\$28,840							\$28,840					
······································		Existing Staff LR to be renovated to		4 =0,010							<i>+_0,0.0</i>					
	Restroom modifications needed to	include life/changing station and meet														
A-53 ADA Restroom Modifications/Renovation	accommodate student(s) with special needs	ADA requirements		\$23,000		\$23,000										
		Replace flooring with no-wax option/new														
		carpet tiles (Assumes two-part epoxy														
	Existing flooring will reach the end of its useful	compromised upon flooring removal and new epoxy must be installed) Does not														
A-54 Throughout Building	life	include Gym		\$1,433,810										\$477,936	\$955,874	
	Painting will be required as part of routine													, ,,,,,,		
A-55 Throughout Building	maintenance	Re-paint walls		\$90,000								\$90,000				
A-56 Gymnasium	Additional storage needed	Investigate storage options														
	Furniture Replacement: 36 Classrooms (Not	Furniture Replacement: 36 Classrooms						1								
A-57 Throughout Building- Typ. Classrooms	including Science Labs)	(Not including Science Labs)		\$568.800					\$568.800							
A-58 LRC	Furniture Replacement : LRC	Furniture Replacement : LRC		\$120,000					\$120,000							
					l l			1								
A-59 ADA Bathroom Updates	Bathrooms not ADA Compliant															
Boys 518		Install compliant grab bars		\$750		\$750										
Girls 514		Install compliant grab bars		\$750		\$750										
		State and State	Architectural Subtotals at 4% Inflation per			Ţ										
			year	\$2,343,500	\$0	\$35,100	\$29,736	\$0	\$840,336	\$19,812	\$43,217	\$155,495	\$0	\$707,345	\$1,472,046	\$3,303,087
Electrical				0040					whetetele in slouds 40/	Inflation management						
	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	2016 Base Cost	2017	2018	2019		Subtotals include 4%		2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601	Description of Work Item Outlet within 6' of sink not GFI	Recommended Corrective Measure Replace with GFI outlet.	Recommended Preventative Maintenance		2017 \$100	2018	2019	2020	ubtotals include 4% 2021	Inflation per year 2022	2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205			Recommended Preventative Maintenance	Base Cost \$100 Depends on issue	\$100 ə.	2018	2019				2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305	Outlet within 6' of sink not GFI Outlet marked "out of power" Fixture Lens not fully installed, hanging.	Replace with GFI outlet. Investigate, repair or remove label.	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25	\$100 e. \$25	2018	2019				2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710	Outlet within 6' of sink not GFI Outlet marked "out of power" Fixture Lens not fully installed, hanging. Abandoned LV cable	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables.	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000	\$100 e. \$25 \$1,000	2018	2019				2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414)	Outlet within 6' of sink not GFI Outlet marked "out of power" Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI	Replace with GFI outlet. Investigate, repair or remove label.	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$100	\$100 e. \$25 \$1,000	2018	2019				2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710	Outlet within 6' of sink not GFI Outlet marked "out of power" Fixture Lens not fully installed, hanging. Abandoned LV cable	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet.	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000	\$100 e. \$25 \$1,000	2018	2019				2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414)	Outlet within 6' of sink not GFI Outlet marked "out of power" Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables.	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$100	\$100 e. \$25 \$1,000	2018	2019		2021		2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices.	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$100 \$200	\$100 e. \$25 \$1,000	2018	2019	2020	2021		2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195	Outlet within 6' of sink not GFI Outlet marked "out of power" Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service)	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse.	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$100 \$200 \$26,800 \$4,500	\$100 e. \$25 \$1,000		2019	2020 			2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$100 \$200 \$26,800	\$100 e. \$25 \$1,000		2019	2020			2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/IClock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion)	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens,	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$100 \$200 \$26,800 \$4,500	\$100 e. \$25 \$1,000		2019	2020 			2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195	Outlet within 6' of sink not GFI Outlet marked "out of power" Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service)	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens,	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$100 \$200 \$26,800 \$4,500 \$10,000	\$100 e. \$25 \$1,000		2019	2020 			2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, s but retrofit to new panel will be better	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$200 \$200 \$26,800 \$4,500 \$10,000 \$5,000	\$100 e. \$25 \$1,000		2019	2020 \$26,800 \$10,000 \$5,000			2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, s but retrofit to new panel will be better long term option.	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$100 \$200 \$26,800 \$4,500 \$10,000	\$100 e. \$25 \$1,000		2019	2020 2020			2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2)	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, s but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$200 \$200 \$26,800 \$4,500 \$10,000 \$5,000	\$100 e. \$25 \$1,000		2019	2020 \$26,800 \$10,000 \$5,000			2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$200 \$200 \$200 \$200 \$10,000 \$4,500 \$10,000 \$15,800	\$100 e. \$25 \$1,000		2019	2020 \$26,800 \$10,000 \$5,000 \$15,800			2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2)	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Breakers still available from Siemens, s but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and announcements.	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$200 \$200 \$26,800 \$4,500 \$10,000 \$5,000	\$100 e. \$25 \$1,000		2019	2020 \$26,800 \$10,000 \$5,000			2023	2024	2025		2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, s but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and announcements. Each receptacle is approx \$25 material	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$200 \$200 \$200 \$200 \$10,000 \$4,500 \$10,000 \$15,800	\$100 e. \$25 \$1,000		2019	2020 \$26,800 \$10,000 \$5,000 \$15,800			2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and announcements. Each receptacle is approx \$25 material cost only. Additionally in older construction installation may be difficult	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$200 \$200 \$200 \$200 \$10,000 \$4,500 \$10,000 \$15,800	\$100 e. \$25 \$1,000		2019	2020 \$26,800 \$10,000 \$5,000 \$15,800			2023	2024	2025		2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, sbut retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and announcements. Each receptacle is approx \$25 material cost only. Additionally in older construction installation may be difficult or not possible. USB charging type	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$200 \$200 \$200 \$200 \$10,000 \$4,500 \$10,000 \$15,800	\$100 e. \$25 \$1,000		2019	2020 \$26,800 \$10,000 \$5,000 \$15,800			2023	2024	2025		2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, s but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and 1 announcements. Each receptacle is approx \$25 material cost only. Additionally in older construction installation may be difficult or not possible. USB charging type receptacles are considerably deeper the	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$200 \$200 \$200 \$200 \$10,000 \$4,500 \$10,000 \$15,800	\$100 e. \$25 \$1,000		2019	2020 \$26,800 \$10,000 \$5,000 \$15,800			2023	2024	2025		2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, s but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and announcements. Each receptacle is approx \$25 material cost only. Additionally in older construction installation may be difficult or not possible. USB charging type receptacles are considerably deeper the 15A or 20A standard commercial grade	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$200 \$200 \$200 \$200 \$10,000 \$4,500 \$10,000 \$15,800	\$100 e. \$25 \$1,000		2019	2020 \$26,800 \$10,000 \$5,000 \$15,800			2023	2024	2025		2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks Expand existing system to district wide system	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, s but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and announcements. Each receptacle is approx \$25 material cost only. Additionally in older construction installation may be difficult or not possible. USB charging type receptacles. Existing back boxes in	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$200 \$200 \$200 \$200 \$10,000 \$4,500 \$10,000 \$15,800	\$100 e. \$25 \$1,000		2019	2020 \$26,800 \$10,000 \$5,000 \$15,800			2023	2024	2025		2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide EM-12 Building Wide Intercom	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks Expand existing system to district wide system Change receptacles to new with USB chargers built in.	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, s but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and 1 announcements. Each receptacle is approx \$25 material cost only. Additionally in older construction installation may be difficult or not possible. USB charging type receptacles are considerably deeper the 15A or 20A standard commercial grade receptacles. Existing back boxes in s some locations may not have sufficient depth.	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$200 \$200 \$200 \$200 \$10,000 \$4,500 \$10,000 \$15,800	\$100 e. \$25 \$1,000		2019	2020 2020			2023	2024			2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide EM-12 Building Wide Intercom	Outlet within 6° of sink not GFI Outlet marked *out of power* Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6° of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks Expand existing system to district wide system Change receptacles to new with USB chargers	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, s but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and 1 announcements. Each receptacle is approx \$25 material cost only. Additionally in older construction installation may be difficult or not possible. USB charging type receptacles are considerably deeper the 15A or 20A standard commercial grade some locations may not have sufficient		Base Cost \$100 Depends on issue \$25 \$1,000 \$100 \$200 \$26,800 \$4,500 \$10,000 \$15,800 \$6,000 \$10,000	\$100 3. \$25 \$1,000 \$1,000	\$4,500	2019	2020 \$26,800 \$10,000 \$5,000 \$15,800 \$6,000 \$6,000 \$15,800 \$6,000			2023	2024			2027+	
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide EM-12 Building Wide Intercom	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks Expand existing system to district wide system Change receptacles to new with USB chargers built in.	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, s but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and 1 announcements. Each receptacle is approx \$25 material cost only. Additionally in older construction installation may be difficult or not possible. USB charging type receptacles are considerably deeper the 15A or 20A standard commercial grade receptacles. Existing back boxes in s some locations may not have sufficient depth.	Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$200 \$26,800 \$4,500 \$10,000 \$10,000 \$15,800 \$6,000	\$100 9. \$25 \$1,000 \$1,000		2019	2020 2020			2023	2024	2025	2026	2027+	Totals
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide EM-12 Building Wide Intercom EM-12 Building Wide Intercom	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks Expand existing system to district wide system Change receptacles to new with USB chargers built in.	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, s but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and 1 announcements. Each receptacle is approx \$25 material cost only. Additionally in older construction installation may be difficult or not possible. USB charging type receptacles are considerably deeper the 15A or 20A standard commercial grade receptacles. Existing back boxes in s some locations may not have sufficient depth.		Base Cost \$100 Depends on issue \$25 \$1,000 \$200 \$26,800 \$4,500 \$10,000 \$15,800 \$6,000 \$10,000 \$6,000	\$100 3. \$25 \$1,000 \$1,000	\$4,500	2019	2020 2020 2020 2020 2020 2020 2020 202			2023	2024	2025	2026	2027+	
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide EM-12 Building Wide Intercom EM-12 Building Wide Intercom	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks Expand existing system to district wide system Change receptacles to new with USB chargers built in. Existing incandescent or HID fixtures	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, s but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and announcements. Each receptacle is approx \$25 material cost only. Additionally in older construction installation may be difficult or not possible. USB charging type receptacles. Existing back boxes in some locations may not have sufficient depth. Replace with LED fixtures.	Electrical Subtotals at 4% Inflation per year	Base Cost \$100 Depends on issue \$25 \$1,000 \$100 \$200 \$26,800 \$4,500 \$10,000 \$15,800 \$15,800 \$6,000 \$10,000 \$79,525 2016	\$100 3. \$25 \$1,000 \$1,000 \$1,000 \$2,210 \$2,210	\$4,500	\$0	2020 2020 \$26,800 \$10,000 \$10,000 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$10,000	2021	2022	\$0	\$0		\$0		\$93,182
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide EM-12 Building Wide Intercom EM-12 Building Wide Intercom EM-13 Entire Building EM-14 Courtyard EM-13 Entire Building	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks Expand existing system to district wide system Change receptacles to new with USB chargers built in.	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, s but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and announcements. Each receptacle is approx \$25 material cost only. Additionally in older receptacles are considerably deeper the 15A or 20A standard commercial grade receptacles. Existing back boxes in s some locations may not have sufficient depth. Replace with LED fixtures. Replace with LED fixtures.		Base Cost \$100 Depends on issue \$25 \$1,000 \$100 \$200 \$26,800 \$4,500 \$10,000 \$10,000 \$115,800 \$15,800 \$6,000 \$15,800 \$10,000 \$15,800 \$10,000 \$1	\$100 3. \$25 \$1,000 \$1,000	\$4,500	2019 	2020 2020 2020 2020 2020 2020 2020 202			2023	2024	2025	2026	2027+	
Locations, Room No. EM-1 Science 205, EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide EM-12 Building Wide EM-14 Courtyard EM-13 Entire Building EM-14 Courtyard	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks Expand existing system to district wide system Change receptacles to new with USB chargers built in. Existing incandescent or HID fixtures	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, s but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and announcements. Each receptacle is approx \$25 material cost only. Additionally in older construction installation may be difficult or not possible. USB charging type receptacles. Existing back boxes in some locations may not have sufficient depth. Replace with LED fixtures. Replace with LED fixtures.	Electrical Subtotals at 4% Inflation per year	Base Cost \$100 Depends on issue \$25 \$1,000 \$100 \$200 \$26,800 \$4,500 \$10,000 \$15,800 \$15,800 \$6,000 \$10,000 \$79,525 2016	\$100 3. \$25 \$1,000 \$1,000 \$1,000 \$2,210 \$2,210	\$4,500	\$0	2020 2020 \$26,800 \$10,000 \$10,000 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$10,000	2021	2022	\$0	\$0		\$0		\$93,182
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide EM-12 Building Wide Intercom EM-12 Building Wide Intercom EM-13 Entire Building EM-14 Courtyard EM-13 Entire Building	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks Expand existing system to district wide system Change receptacles to new with USB chargers built in. Existing incandescent or HID fixtures Description of Work Item	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, s but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and announcements. Each receptacle is approx \$25 material cost only. Additionally in older construction installation may be difficult or not possible. USB charging type receptacles. Existing back boxes in some locations may not have sufficient depth. Replace with LED fixtures. Recommended Corrective Measure Patch holes in floor to maintain fire rating Provide additional support so maximum	Electrical Subtotals at 4% Inflation per year	Base Cost \$100 Depends on issue \$25 \$1,000 \$100 \$200 \$26,800 \$4,500 \$10,000 \$10,000 \$115,800 \$15,800 \$6,000 \$15,800 \$10,000 \$15,800 \$10,000 \$1	\$100 3. \$25 \$1,000 \$1,000 \$1,000 \$2,210 \$2,210	\$4,500	\$0	2020 2020 \$26,800 \$10,000 \$10,000 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$10,000	2021	2022	\$0	\$0		\$0		\$93,182
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide EM-12 Building Wide EM-14 Building Wide EM-12 Building Wide Intercom Mechanical Locations, Room No. MM-1 2nd Floor Northwest Mechanical Room	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks Expand existing system to district wide system Change receptacles to new with USB chargers built in. Existing incandescent or HID fixtures Description of Work Item 3 holes in floor where piping was removed.	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, s but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and announcements. Each receptacle is approx \$25 material cost only. Additionally in older receptacles. Existing back boxes in s some locations may not have sufficient depth. Replace with LED fixtures. Replace with LED fixtures. Patch holes in floor to maintain fire rating Provide additional supports on xaimum spacing between supports does not	Electrical Subtotals at 4% Inflation per year	Base Cost \$100 Depends on issue \$25 \$1,000 \$100 \$200 \$26,800 \$4,500 \$10,000 \$15,800 \$10,000 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$10,000 \$15,800 \$15,800 \$10,000 \$10,000 \$15,800 \$15,800 \$10,000 \$15,800 \$15,800 \$15,800 \$10,000 \$15,800 \$15,800 \$15,800 \$10,000 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$10,000 \$10,000 \$15,800 \$10,000 \$1	\$100 3. \$25 \$1,000 \$1,000 \$1,000 \$2,210 \$2,210 \$2,210 \$2,210	\$4,500	\$0	2020 2020 \$26,800 \$10,000 \$10,000 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$10,000	2021	2022	\$0	\$0		\$0		\$93,182
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide EM-12 Building Wide Intercom EM-12 Building Wide Intercom EM-13 Entire Building EM-14 Courtyard EM-13 Entire Building	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks Expand existing system to district wide system Change receptacles to new with USB chargers built in. Existing incandescent or HID fixtures Description of Work Item 3 holes in floor where piping was removed. Gas piping with insufficient supports	Replace with GFI outlet. Investigate, repair or remove label. Replace with GFI outlet. Replace with GFI outlet. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Assumes cable reuse. Breakers still available from Siemens, but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and announcements. Each receptacle is approx \$25 material cost only. Additionally in older construction installation may be difficult or not possible. USB charging type receptacles. Existing back boxes in some locations may not have sufficient depth. Replace with LED fixtures. Replace with LED fixtures. Patch holes in floor to maintain fire rating Provide additional supports omaximum spacing between supports does not exceed 6 ft.	Electrical Subtotals at 4% Inflation per year	Base Cost \$100 Depends on issue \$25 \$1,000 \$100 \$200 \$26,800 \$4,500 \$10,000 \$10,000 \$115,800 \$15,800 \$6,000 \$15,800 \$10,000 \$15,800 \$10,000 \$1	\$100 3. \$25 \$1,000 \$1,000 \$1,000 \$2,210 \$2,210 \$2,210 \$2,210	\$4,500	\$0	2020 2020 \$26,800 \$10,000 \$10,000 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$10,000	2021	2022	\$0	\$0		\$0		\$93,182
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Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide EM-12 Building Wide EM-12 Building Wide Intercom EM-13 Entire Building EM-14 Courtyard EM-13 Entire Building EM-14 Courtyard EM-15 Entire Building Entire Building </td <td>Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks Expand existing system to district wide system Change receptacles to new with USB chargers built in. Existing incandescent or HID fixtures Description of Work Item 3 holes in floor where piping was removed. Gas piping with insufficient supports 4 exhaust fans are approaching the end of its</td> <td>Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Assumes cable reuse. Replace Panel Breakers still available from Siemens, but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and announcements. Each receptacle is approx \$25 material cost only. Additionally in older construction installation may be difficult or not possible. USB charging type receptacles are considerably deeper the 15A or 20A standard commercial grade receptacles. Existing back boxes in some locations may not have sufficient depth. Replace with LED fixtures. Patch holes in floor to maintain fire rating Provide additional supports omaximum spacing between supports does not exceed 6 ft. ir Schedule exhaust fan for replacement.</td> <td>Electrical Subtotals at 4% Inflation per year</td> <td>Base Cost \$100 Depends on issue \$25 \$1,000 \$100 \$200 \$26,800 \$4,500 \$10,000 \$10,000 \$15,800 \$15,800 \$15,800 \$15,800 \$10,000 \$79,525 2016 Base Cost \$500 \$8,000 \$8,000 \$10,000 \$2016 \$2006 \$2000</td> <td>\$100 3. \$25 \$1,000 \$1,000 \$1,000 \$2,210 \$2,210 \$2,210 \$2,210</td> <td>\$4,500</td> <td>\$0</td> <td>2020 2020 \$26,800 \$10,000 \$10,000 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$10,000</td> <td>2021</td> <td>2022</td> <td>\$0</td> <td>\$0</td> <td></td> <td>\$0</td> <td></td> <td>\$93,182</td>	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks Expand existing system to district wide system Change receptacles to new with USB chargers built in. Existing incandescent or HID fixtures Description of Work Item 3 holes in floor where piping was removed. Gas piping with insufficient supports 4 exhaust fans are approaching the end of its	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Assumes cable reuse. Replace Panel Breakers still available from Siemens, but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and announcements. Each receptacle is approx \$25 material cost only. Additionally in older construction installation may be difficult or not possible. USB charging type receptacles are considerably deeper the 15A or 20A standard commercial grade receptacles. Existing back boxes in some locations may not have sufficient depth. Replace with LED fixtures. Patch holes in floor to maintain fire rating Provide additional supports omaximum spacing between supports does not exceed 6 ft. ir Schedule exhaust fan for replacement.	Electrical Subtotals at 4% Inflation per year	Base Cost \$100 Depends on issue \$25 \$1,000 \$100 \$200 \$26,800 \$4,500 \$10,000 \$10,000 \$15,800 \$15,800 \$15,800 \$15,800 \$10,000 \$79,525 2016 Base Cost \$500 \$8,000 \$8,000 \$10,000 \$2016 \$2006 \$2000	\$100 3. \$25 \$1,000 \$1,000 \$1,000 \$2,210 \$2,210 \$2,210 \$2,210	\$4,500	\$0	2020 2020 \$26,800 \$10,000 \$10,000 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$10,000	2021	2022	\$0	\$0		\$0		\$93,182
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide EM-12 Building Wide Intercom EM-12 Building Wide Intercom EM-13 Entire Building EM-14 Courtyard Image: EM-14 Emethetee Image: EM-14 Emethetee Image: Emethetee Emethetee <td>Outlet within 6' of sink not GFI Outlet within 6' of sink not GFI Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks Expand existing system to district wide system Change receptacles to new with USB chargers built in. Existing incandescent or HID fixtures Description of Work Item 3 holes in floor where piping was removed. Gas piping with insufficient supports 4 exhaust fans are approaching the end of thei useful life.</td> <td>Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, s but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and announcements. Each receptacle is approx \$25 material cost only. Additionally in older construction installation may be difficult or not possible. USB charging type receptacles. Existing back boxes in s some locations may not have sufficient depth. Replace with LED fixtures. Patch holes in floor to maintain fire rating Provide additional supports on aximum spacing between supports does not exceed 6 ft.</td> <td>Electrical Subtotals at 4% Inflation per year</td> <td>Base Cost S100 Depends on issue \$25 \$1,000 \$100 \$200 \$26,800 \$4,500 \$10,000 \$10,000 \$10,000 \$15,800 \$15,800 \$5,000 \$15,800 \$5,000 \$10,000 \$10,000 \$5,000 \$10,000 \$5,000 \$10,000 \$5,000 \$</td> <td>\$100 3. \$25 \$1,000 \$1,000 \$1,000 \$2,210 \$2,210 \$2,210 \$2,210</td> <td>\$4,500</td> <td>\$0</td> <td>2020 2020 \$26,800 \$10,000 \$10,000 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$10,000</td> <td>2021</td> <td>2022</td> <td>\$0</td> <td>\$0</td> <td></td> <td>\$0</td> <td></td> <td>\$93,182</td>	Outlet within 6' of sink not GFI Outlet within 6' of sink not GFI Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks Expand existing system to district wide system Change receptacles to new with USB chargers built in. Existing incandescent or HID fixtures Description of Work Item 3 holes in floor where piping was removed. Gas piping with insufficient supports 4 exhaust fans are approaching the end of thei useful life.	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Replace Panel Breakers still available from Siemens, s but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and announcements. Each receptacle is approx \$25 material cost only. Additionally in older construction installation may be difficult or not possible. USB charging type receptacles. Existing back boxes in s some locations may not have sufficient depth. Replace with LED fixtures. Patch holes in floor to maintain fire rating Provide additional supports on aximum spacing between supports does not exceed 6 ft.	Electrical Subtotals at 4% Inflation per year	Base Cost S100 Depends on issue \$25 \$1,000 \$100 \$200 \$26,800 \$4,500 \$10,000 \$10,000 \$10,000 \$15,800 \$15,800 \$5,000 \$15,800 \$5,000 \$10,000 \$10,000 \$5,000 \$10,000 \$5,000 \$10,000 \$5,000 \$	\$100 3. \$25 \$1,000 \$1,000 \$1,000 \$2,210 \$2,210 \$2,210 \$2,210	\$4,500	\$0	2020 2020 \$26,800 \$10,000 \$10,000 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$10,000	2021	2022	\$0	\$0		\$0		\$93,182
Locations, Room No. EM-1 Science 205, Kitchen 601 EM-2 Science 205 EM-3 Band 305 EM-4 Mech Room 707/710 EM-5 Corridor (near 414) EM-6 Classroom 708/710 EM-7 Building Wide EM-8 MDF 113, IDF 110B, Near Corridor 195 EM-9 Mech Room 707/710, Mech Room 704 EM-10 Storage 602 (2) EM-11 Building Wide EM-12 Building Wide Intercom EM-12 Building Wide Intercom EM-13 Entire Building EM-14 Courtyard EM-13 Entire Building EM-14 Courtyard EM-15 Roof	Outlet within 6' of sink not GFI Outlet marked 'out of power' Fixture Lens not fully installed, hanging. Abandoned LV cable Outlet within 6' of sink not GFI Speaker/Clock enclosure damaged. Non Addressable FA devices Provide cable organization of Data rack Existing fuse/switch panel (original service) damaged (corrosion) Existing older circuit breaker panel missing bus and connection covers Replace existing aging clock system with wireless clocks Expand existing system to district wide system Change receptacles to new with USB chargers built in. Existing incandescent or HID fixtures Description of Work Item 3 holes in floor where piping was removed. Gas piping with insufficient supports 4 exhaust fans are approaching the end of its	Replace with GFI outlet. Investigate, repair or remove label. Remove abandoned obsolete cables. Replace with GFI outlet. Replace with GFI outlet. Replace with addressable devices. Assumes cable reuse. Assumes cable reuse. Replace Panel Breakers still available from Siemens, but retrofit to new panel will be better long term option. Expand with Rauland TCU. Allows district wide notification system and announcements. Each receptacle is approx \$25 material cost only. Additionally in older construction installation may be difficult or not possible. USB charging type receptacles are considerably deeper the 15A or 20A standard commercial grade receptacles. Existing back boxes in some locations may not have sufficient depth. Replace with LED fixtures. Patch holes in floor to maintain fire rating Provide additional supports omaximum spacing between supports does not exceed 6 ft. ir Schedule exhaust fan for replacement.	Electrical Subtotals at 4% Inflation per year Recommended Preventative Maintenance	Base Cost \$100 Depends on issue \$25 \$1,000 \$100 \$200 \$26,800 \$4,500 \$10,000 \$10,000 \$15,800 \$15,800 \$6,000 \$15,800 \$6,000 \$15,800 \$500 \$500 \$500 \$500 \$8,000 \$2,500 \$2,500 \$3,000 \$2,500 \$3,000	\$100 3. \$25 \$1,000 \$1,000 \$1,000 \$2,210 \$2,210 \$2,210 \$2,210	\$4,500	\$0	2020 2020 \$26,800 \$10,000 \$10,000 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$15,800 \$10,000	2021	2022	\$0	\$0		\$0		\$93,182
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MacArthur Middle School 01.05.17 Updated Report

Plumbing	9				2016				Su	ubtotals include 4%	% Inflation per yea	ar					
	Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
		Galvanized piping serving locker room															
PM-1	Office 302 Girls Locker Room	showers.	Replace galvanized piping.		\$15,000					\$15,000							
		Galvanized piping serving locker room															
PM-2	Mech Room Boys Locker Room	showers.	Replace galvanized piping.		\$15,000					\$15,000							
		No solids interceptor at art room sinks to															
		prevent paint and clay from creating blockage															
PM-3	Art Room	in drain piping.	Provide solids interceptors at each sink.		\$4,500		\$4,500										
		Plumbing fixtures are old and antiquated,	Replace plumbing fixtures and provide														
PM-4	Girls 312 & Boys 316	piping in walls is galvanized piping.	new water supply piping in wall/chases.		\$65,000										\$65,000		
			Replace plumbing fixtures and provide		\$65.000												
PM-5	Girls 414 & Boys 410	piping in walls is galvanized piping.	new water supply piping in wall/chases.		\$65,000										\$65,000		
			Route new hot water piping to fixture and														
PM-6	Boys 410	Lavatory is supplied with only cold water.	replace faucet.		\$3,500		\$3,500										
			Replace electric water coolers. Provide		005	605 05-											
PM-7	All Electric Water Coolers	(10) Electric water coolers are old and worn.	model with water filter for lead removal.		\$25,000	\$25,000											
PM-8	Toilet 601E	Water closet china is damaged.	Replace water closet.		\$1,500		\$1,500										
		All water closets are rated at 3.5 gallons per															
		flush (GPF). Substantial water savings can be															
		achieved by utilizing water closets rated at 1.6															
PM-9	All Toilet Rooms	or 1.28 GPF.	Sense" certified fixtures.		\$35,000										\$35,000		
PM-10	2nd Floor Northwest Mechanical Room 712	Floor drain missing grate is a tripping hazard	Provide grate at floor drain		\$2,000			\$2,000									
		Existing mop sink faucet does not allow for															
		code compliant connection to chemical	Provide faucet with diverter and RPZ														
PM-11	Janitors Closets	dispensing cleaning equipment.	backflow assembly.		\$4,500		\$4,500										
			Route hot water to sink and replace														
PM-12	Science Rooms 205, 418 & 503	No hot water at wash-up sink.	faucet.		\$7,500			\$7,500									
			Remove debris from fire department														
		Fire Department Connection and bell	connection and 10" bell and provide caps														
FPM-1	Exterior Wall at Team Storage 208	obstructed with debris.	on fire department connection.		\$500	\$500											
		Four sprinkler heads are not flush with ceiling.															
FPM-2	Corridor at Storage 121 and Corridor 316	Four heads are missing escutcheon.	provide escutcheons.		\$2,000	\$2,000											
																/	
				Plumbing Subtotals at 4% Inflation per year	\$246,000	\$28,600	\$15,120	\$10,640	\$0	\$36,600	\$0	\$0	\$0	\$0	\$244,200	\$0	\$335,160
				Subtotal	\$5,874,899	\$117,910	\$131,641	\$77,224	\$2,132,365	\$1,929,515	\$86,830	\$561,515	\$191,444	\$9,940	\$977,815	\$1,472,046	
				10% Design Contingency	\$587,490	\$11,791	\$13,164	\$7,722	\$213,236	\$192,952	\$8,683	\$56,151	\$19,144	\$994	\$97,782	\$147,205	
				10% Construction Contingency	\$587,490	\$11,791	\$13,164	\$7,722	\$213,236	\$192,952	\$8,683	\$56,151	\$19,144	\$994	\$97,782	\$147,205	
			l	8% A/E Fee Contingency	\$469,992	\$9,433	\$10,531	\$6,178	\$170,589	\$154,361	\$6,946	\$44,921	\$15,316	\$795	\$78,225	\$117,764	
			1	TOTAL	\$7,519,871	\$150,925	\$168,501	\$98,847	\$2,729,427	\$2,469,780	\$111,142	\$718,739	\$245,048	\$12,723	\$1,251,604	\$1,884,219	
District					0010					the state in a local state	/ Inflation as						
District C	Capital Equipment	Description of Mark It	Deserves de la Compatine M	Description de la Description Mail 1	2016	0047	0040	0040		ubtotals include 4%			0004	0005	0000	0007	Tatala
	Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
-				District Capital Equipment at 4% Inflation per													
				vear	\$ 0	C 0	* 0	* 0	* 0	* 0	* 0	\$ 0	* 0		\$ 0		
				TOTALS	\$7,519,871	\$150,925	\$0 \$168.501	\$0 \$98.847	\$0 \$2,729,427	\$2,469,780	\$0 \$111,142	\$0 \$718.739	\$0 \$245.048	\$0 \$12,723	\$1,251,604	\$0 \$1,884,219	\$9,840,954
				TUTALO	\$7,519,871	\$150,925	\$100,001	\$90,847	\$2,729,427	\$2,409,780	ə111,14Z	\$710,739	\$Z45,048	φ12,723	\$1,251,604	\$1,004,219	ə9,040,954

**Note: See attached "Wood Siding Replacement Budget" Multiple finish options are being considered at a budget range of \$90,391-\$151,456. Installation of new windows to restore the size of the original openings is also being explored. Budget number for this option to follow.





ard, illinois 60148 p: 630.495.1900

10 Year Long Range Facility Plan

at DWIGHT D. EISENHOWER ELEMENTARY 1N. Schoenbeck Rd. Prospect Heights, IL 60070

BETSY ROSS ELEMENTARY 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

ANN SULLIVAN ELEMENTARY

700 N. Schoenbeck Rd. Prospect Heights, IL 60070

DOUGLAS MACARTHUR MIDDLE SCHOOL 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

for the

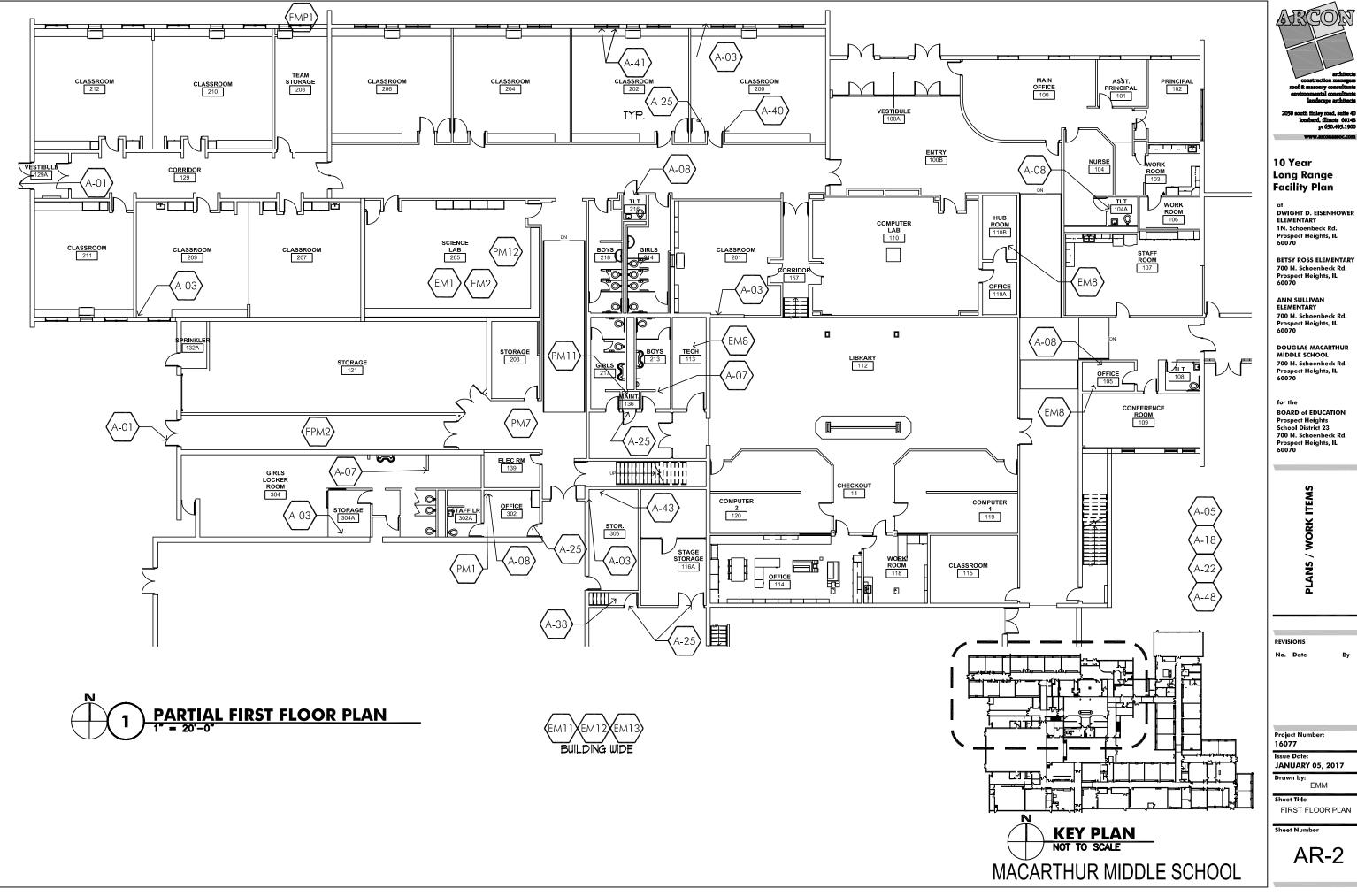
BOARD of EDUCATION Prospect Heights School District 23 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

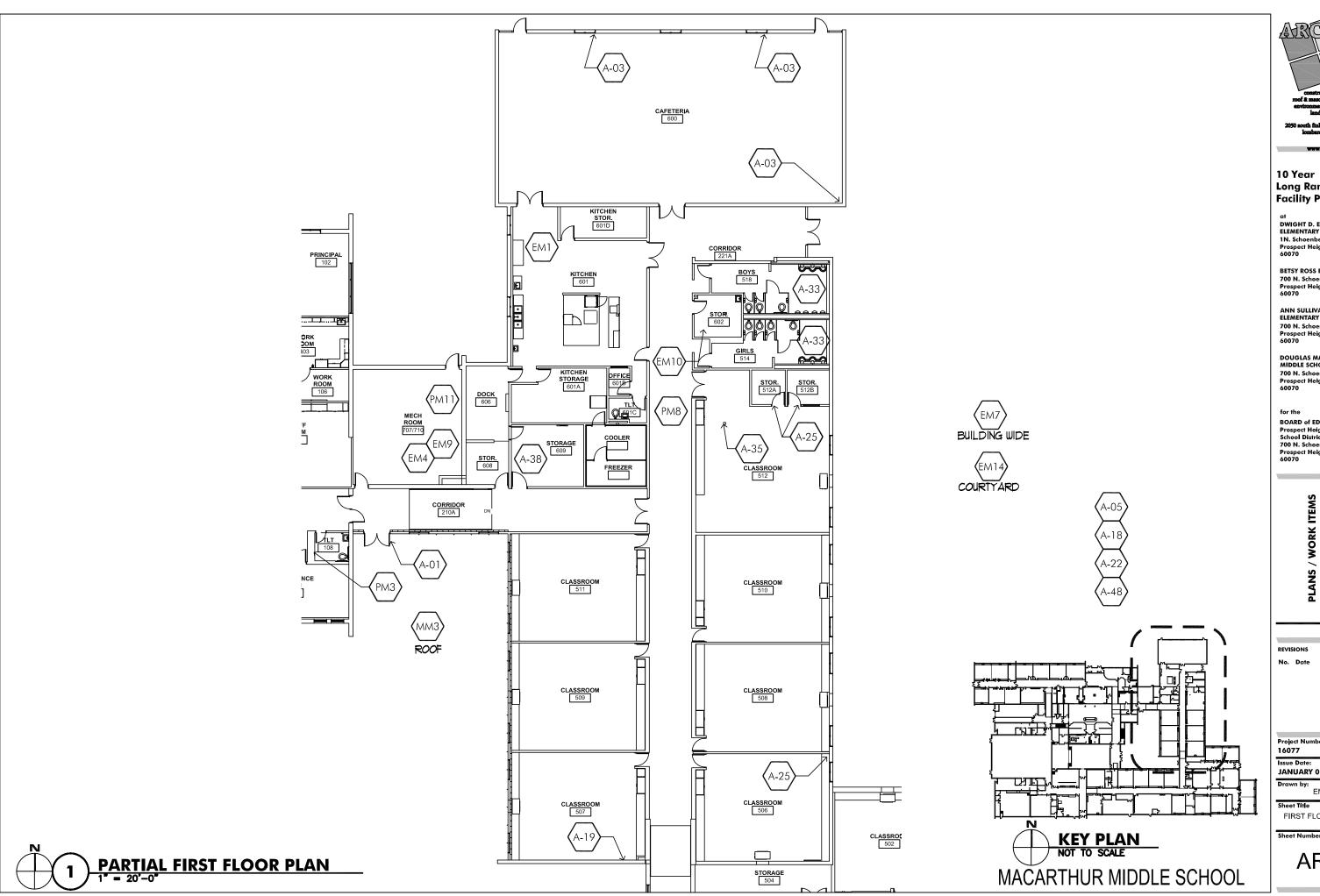


Sheet Number

AR-1

MACARTHUR MIDDLE SCHOOL





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10 Year Long Range **Facility Plan**

at DWIGHT D. EISENHOWER ELEMENTARY 1N. Schoenbeck Rd. Prospect Heights, IL 60070

BETSY ROSS ELEMENTARY 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

ANN SULLIVAN ELEMENTARY

700 N. Schoenbeck Rd. Prospect Heights, IL 60070

DOUGLAS MACARTHUR MIDDLE SCHOOL 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

BOARD of EDUCATION Prospect Heights School District 23 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

WORK ITEMS

VIS	IONS		
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507			
	Date:		

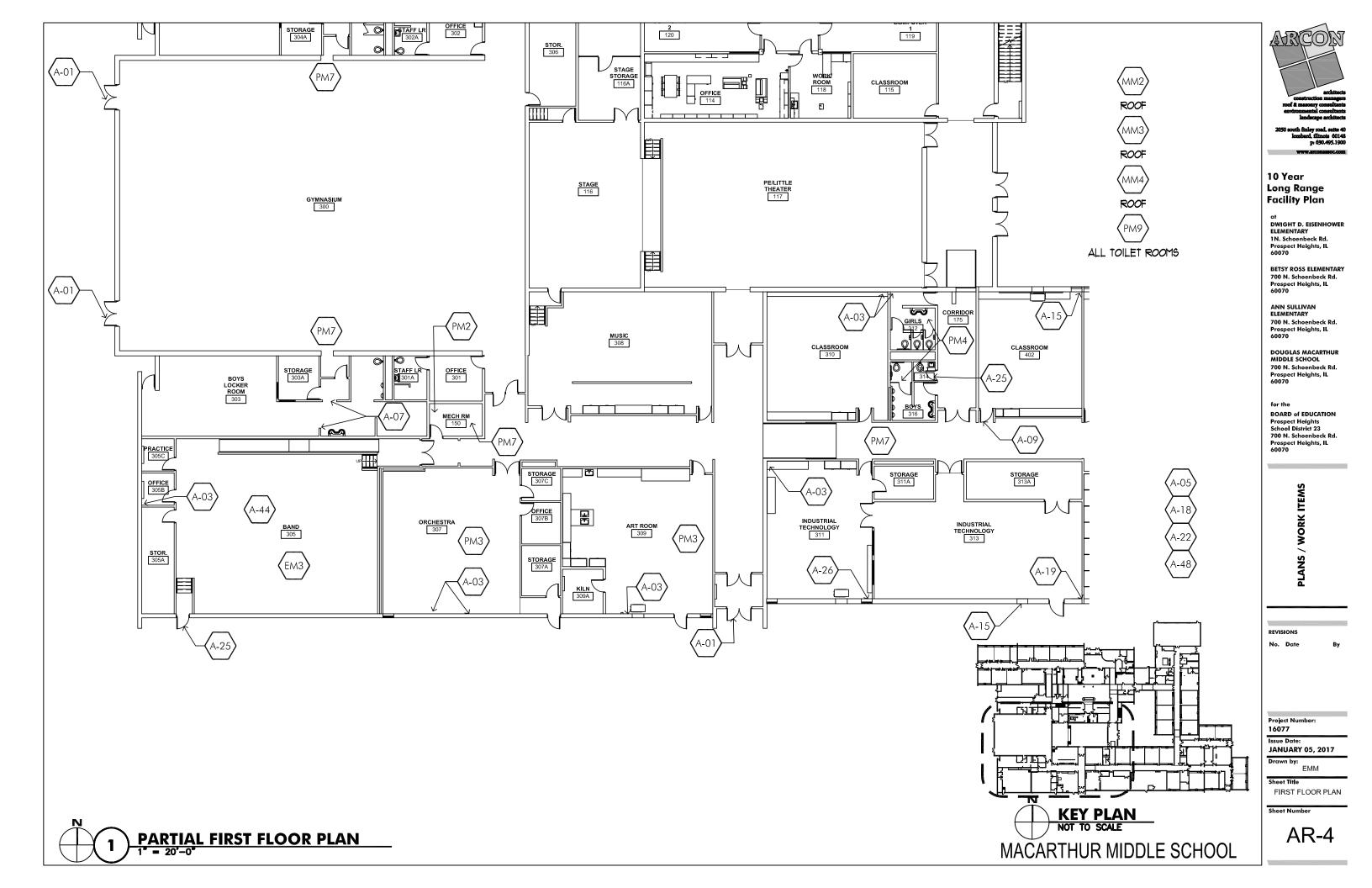
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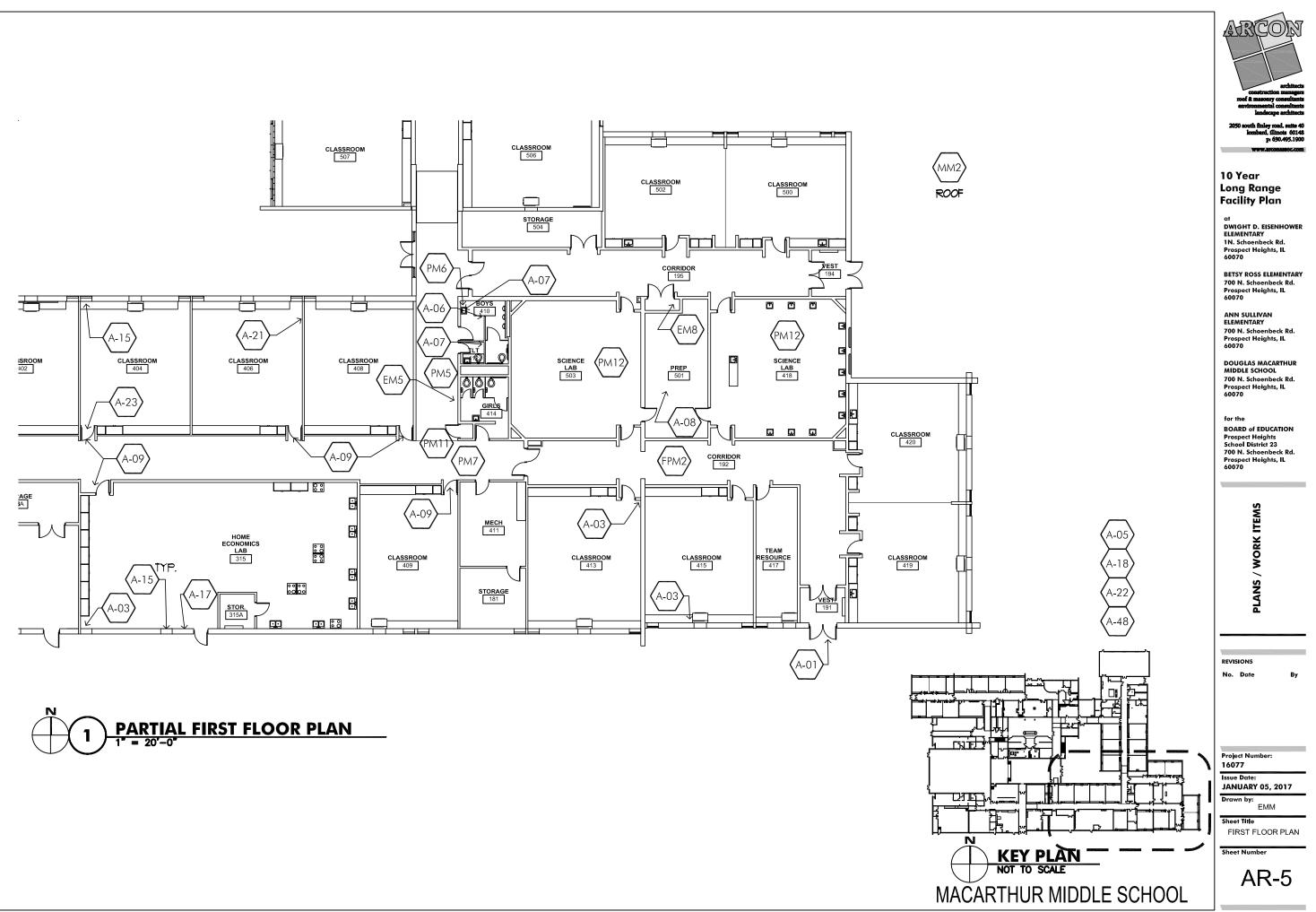
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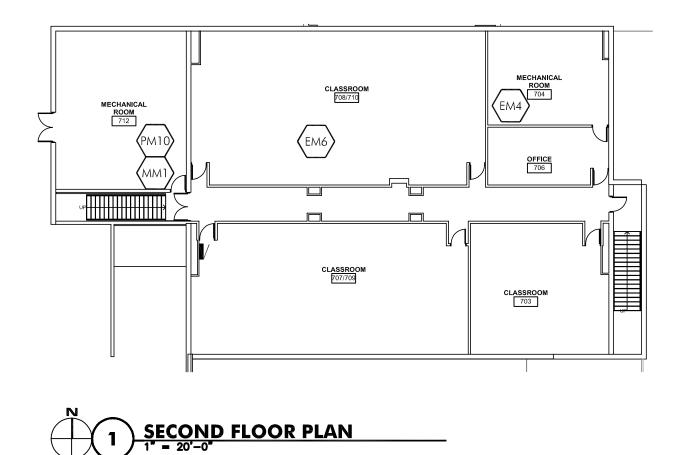
FIRST FLOOR PLAN

Sheet Number

AR-3









inley road, suite 40 ard, illinois 60148 p: 630.495.1900

10 Year Long Range Facility Plan

at

at DWIGHT D. EISENHOWER ELEMENTARY 1N. Schoenbeck Rd. Prospect Heights, IL 60070

BETSY ROSS ELEMENTARY 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

ANN SULLIVAN ELEMENTARY 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

DOUGLAS MACARTHUR MIDDLE SCHOOL 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

for the

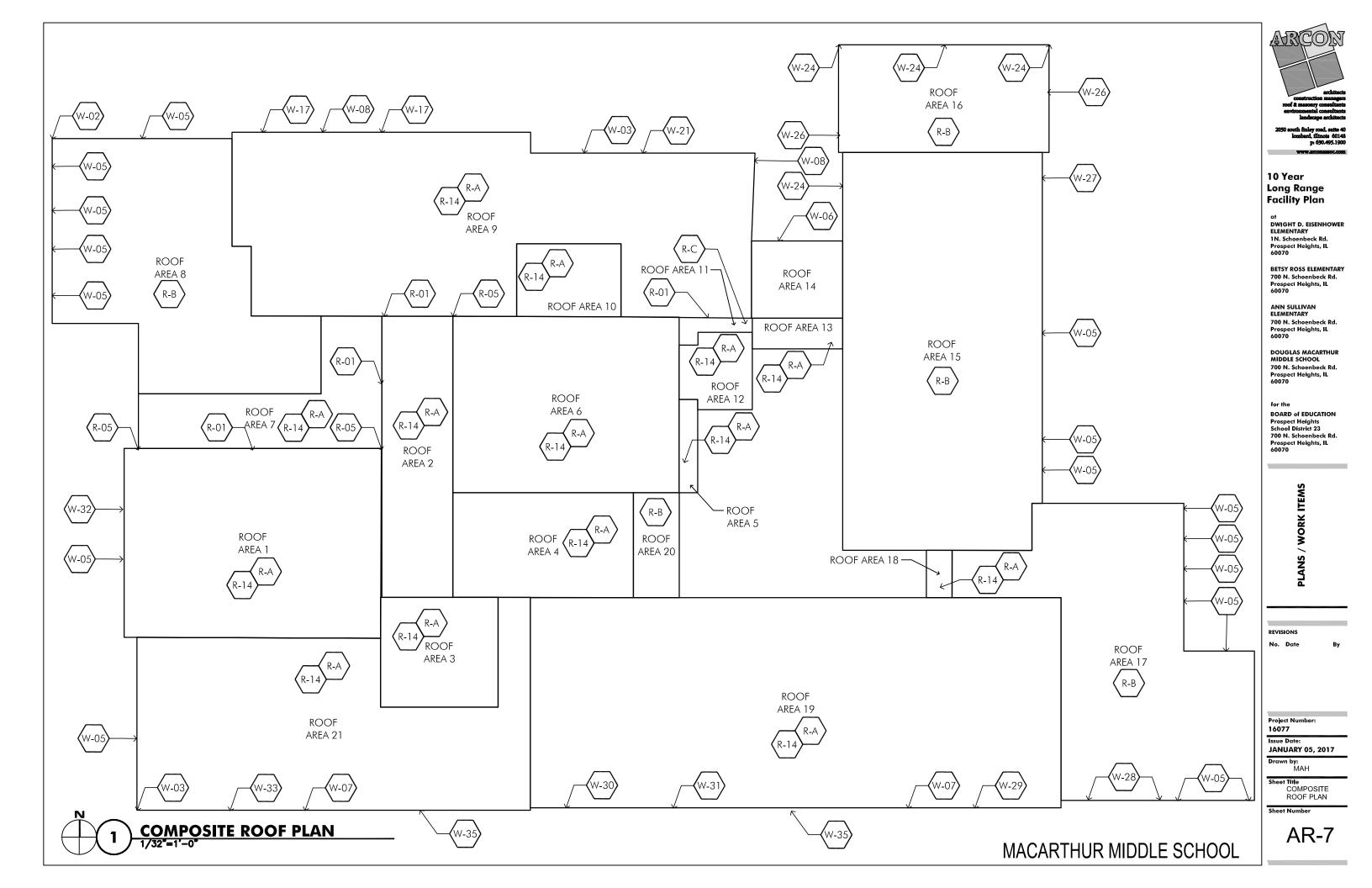
BOARD of EDUCATION Prospect Heights School District 23 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

PLANS / WORK ITEMS REVISIONS No. Date Ву Project Number: 16077 Issue Date: JANUARY 05, 2017 Drawn by: EMM Sheet Title SECOND FLOOR PLAN

Sheet Number

AR-6

MACARTHUR MIDDLE SCHOOL



10 Year Long Range Facility Plan Prepared for Prospect Heights School District 23



Owner: Board of Education Prospect Heights School District 23 700 N. Schoenbeck Road Prospect Heights, Illinois 60070



Architect:

ARCON Associates, Inc. 2050 South Finley Road, Suite 40 Lombard, Illinois 60148 Project No. 16077

Mechanical/ Electrical / Plumbing: 20/10 Engineering 1216 Tower Road Schaumburg, Illinois 60173



January 05, 2017



Betsy Ross Elementary School 01.05.17 Updated Report

Site					2016				Su	ubtotals include 4%	6 Inflation per ye	ear					
	Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
S-01	East Elevation	Landscape covers foundation wall	Rake back dirt/mulch to bring elevation below brick/top of foundation		\$2,000			\$2,000									
		Existing cracking, alligatoring, and/or general	· ·					φ2,000									
S-02	Parking Lot- Various Locations	deterioration requires asphalt patching	Patch asphalt		\$17,120		\$17,210							++			
S-02 S-02	South Playground South Path	Existing alligatoring requires asphalt patching Minor asphalt deterioration at SE path	Patch asphalt Patch asphalt		\$3,200 \$2,500		\$3,200 \$2,500						1	++			
S-02	SE Corner of Library	Paint deterioration at exterior railings	Paint railings		\$2,500		φ2,500		\$1,600					+			
S-04	North Walk	ADA curb cuts missing tactile warning	Add tactile warning (truncated dome) for compliant ADA curb cut		\$600	\$600.00			\$1,000								
0.00		Life of lots will be extended with preventative		Crackfill/Sealcoat on a 3-Year Cycle, Re-stripe										1			
S-06	Parking Lots, Playground Lot E (Parking)	maintenance		lots/curb	\$3,860		\$3,860			\$3,860			\$3,860				
	Lot F (Parking)				\$7,600		\$7,600			\$7,600			\$7,600				
	Lot G (Playground)				\$2,960		\$2,960			\$2,960			\$2,960	J			
		Wood landscape timbers are bowed and															1
S-07	Parking Lot- NE Stalls, Playground	deteriorating	Replace damaged wood timbers		\$1,400			\$1,400						┼───┼			
S-08	South of Library	Site slopes towards building	Regrade to direct water away from building		\$4,000			\$4,000									
S-15	Parking Lots	Asphalt lots require replacement at end of expected life	Replace asphalt parking lot (retain existing stone)														
	Lot E				\$86,850									\$86,850			
	Lot F				\$171,000									\$171,000			
	Lot G (Playground)				\$66,600									\$66,600			
S-16	Playground Equipment	Older playground units are approaching the end of their useful life	Playground units evaluated and determined to be in sound condition														
S-10	Athletic Fields	Uneven surface/potholes create trip hazards	Regrade fields											++			·
S-18	Sidewalks	Sidewalk maintenance		Replace damaged concrete pads	\$1,000		\$1,000		\$1,000		\$1,000		\$1,000	J	\$1,000		
				Site Subtotals at 4% Inflation per year	\$372,290	\$624	\$41,396	\$8,288	\$3,042	\$17,592	\$1,270	\$0	\$21,125	5 \$460,719	\$1,480	\$0	\$555,537
Building	Envelope (Walls / Masonry)				2016					ubtotals include 49				1			
W-01	Locations, Room No. East Elevation at masonry pier (2)	Description of Work Item Deteriorated masonry mortar joints	Recommended Corrective Measure Grind and point deteriorated masonry	Recommended Preventative Maintenance	Base Cost \$500	2017 \$500	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
VV-01	Southwest Elevation Area 1, West Elevation	Detenorated masonry monar joints	Grind and point detendrated masonry	Grind and point detenorated masonry	\$ <u>5</u> 00	\$200								+			
W-03	Area 6	Damaged brick	Remove and replace damaged brick	Remove and replace damaged brick	\$1,000	\$1,000											
W-05	Southwest Area 1 (1), West Area 6 (2), West Area 2 (2)	Deteriorated sealant at vertical masonry contra joints	install joint backer rod and sealant	Remove sealant, clean and prime joint, install joint backer rod and sealant	\$10,000	\$10,000											1
W-07	East Elevation	Landscaping over top of foundation wall		Monitor													
				Maintain as needed until replacement; Remove 5/8" tongue and groove vertical siding. Install new ice and water shield underlayment and new													1
		Intrusive investigation of wood siding complete	Remove and replace siding and replace														1
W-08	East and West Elevation	Intrusive investigation of wood siding complete siding found to be in deteriorating conditions	finish options.	and associated trim. **Additional finish options being considered.	\$90,391						\$90,391						
W-09	Eest Elevation Area 6	Deterioration at top of foundation wall	Form and repair affected area	Form and repair affected area	\$500	\$500					\$00,001						
W-14	East and West Elevation Area 3. West Area 6	Suspect no flashing at top of foundation wall	Investigate	Investigate and verify	\$500	\$500											1
		Openings at electrical conduit penetration thru		Patch / seal masonry at electrical conduit													· · · · · · · · · · · · · · · · · · ·
W-15	North Elevation Area 5	wall	penetration thru wall Repair / replace deteriorated wood at	penetration thru wall	\$150	\$150								++			
W-16	North Elevation Area 4	Deteriorated wood at soffit	soffit Prime and paint rusted bulb tee along	Repair / replace deteriorated wood at soffit	\$300	\$300								∔			
W-17	South Elevation Area 3, West Elevation Area 3	3 Rusted bulb tee along interior edge	interior edge	Prime and paint rusted bulb tee along interior edge	\$200	\$200								<u> </u>			
W-18	West Elevation Area 3	Tectum deck at downspout	Repair hole with new tectum or painted steel	Repair hole with new tectum or painted steel	\$150	\$150											
W-19	North Elevation Area 2A	Asphalt paving above top of foundation and foundation flashing		Monitor													
W-20	West Elevation Area 2 at Door 15	Lower section of door mullion rusted out	Replace center mullion or door system	Monitor and decide if necessary	\$500	\$500											
W-43	Classroom 115	Evidence of leaking window / cracked glass A number of existing windows are not thermal	Investigate and seal window frame	Investigate where window is leaking	\$4,000	\$4,000								++			
W-45 W-46	11 Window systems not thermally broken East Elevation	broken Poor sheet metal trim installation	Replace window systems Re-do sheet metal trim at radius	Monitor and decide if necessary	\$47,000			\$47,000						╂────╂			
vv-40				include in house any									1	++			
W-47	East Elevation Area 1, East Elevation Area 6	Brick is overhanging edge of foundation wall Minor rust, deterioration of paint at exterior HM		Monitor										╂────╂			I
W-49	Throughout Building	doors	and add drip cap		\$7,500			\$7,500									I
W/ 50		Eviating vagatation arguing an unit	Remove vegetation to eliminate		district			-									
W-50	South Elevation	Existing vegetation growing on upper wall	deterioration of mortar joints FEMoran to seal units indicated on 2010		maintenance				1	<u> </u>		<u> </u>	1	++			
W-51	Throughout Building	New VUV units not sealed properly	spreadsheet											∔			
W-53	Main Entrance	Metal fascia trim is rusting	Remove and replace bottom radius fascia trim		\$3,200	\$3,200											
				Building Envelope (Walls/Masonry) Subtotals at 4% Inflation per year	\$165,891	\$21,840	\$0	\$61,040	\$0	\$0	\$114,797	S) \$(\$0	\$0	\$0	\$197,677
					\$100,001	φ <u>21</u> ,010	\$ 0	\$01,040	¢0	\$ 0	<i></i> ,	φ	ţ.	÷3			





Betsy Ross Elementary School 01.05.17 Updated Report

Building	Envelope (Roofing)				2016				Su	btotals include 4% I	nflation per yea	ar					
	Locations, Room No.	Description of Work Item	Recommended Corrective Measure		Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
	Random throughout roof area 1.0, 2.0, 3.0,			Monitor roof condition and performance. Provide													
R-07	4.0, 5.0, 6.0	Blistering of roof membrane	No action at this time, monitor	preventive maintenance as required													
R-12	Roof Area 3.0	Rusted gas pipe	Prime and paint rusted gas pipe	Priming and painting	\$500	\$500											
R-14	Typical throughout roof area 1.0, 2.0, 3.0, 4.0, 5.0, 6.0	Organic growth of some type on all roof membranes with white coating	No action at this time, monitor	Monitor roof condition and performance. Provide preventive maintenance as required													
11-14	0.0, 0.0	Deterioration / delamination of white coating	no action at this time, monitor	Monitor roof condition and performance. Provide	1											i	
R-15	Random throughout roof area 1.0, 4.0, 6.0	due to ponding water	No action at this time, monitor	preventive maintenance as required													
11 10		Roof area has reached the end of its		Monitor roof condition and performance. Provide													
RA-1.0		serviceable life	Replace roof area	preventive maintenance as required	\$312,000					\$312,000							
		Roof area has reached the end of its		Monitor roof condition and performance. Provide													
RA-2.0		serviceable life	Replace roof area	preventive maintenance as required	\$244,660					\$244,660							
				Monitor roof condition and performance. Provide													
RA-2.1		No work required at this time	Preventive maintenance	preventive maintenance as required													
RA-3.0		Roof area has reached the end of its serviceable life	Replace roof area	Monitor roof condition and performance. Provide preventive maintenance as required	\$319,280				\$319,280								
KA-3.0		Roof area has reached the end of its	Replace fool area	Monitor roof condition and performance. Provide	\$319,200				\$319,260								
RA-4.0		serviceable life	Replace roof area	preventive maintenance as required	\$15,730						\$15,730						
		Roof area has reached the end of its		Monitor roof condition and performance. Provide													
RA-5.0		serviceable life	Replace roof area	preventive maintenance as required	\$19,370						\$19,370						
		Roof area has reached the end of its		Monitor roof condition and performance. Provide													
RA-6.0		serviceable life	Replace roof area	preventive maintenance as required	\$80,730						\$80,730						
		Roof area has reached the end of its		Monitor roof condition and performance. Provide													
RA-7.0		serviceable life	Replace roof area	preventive maintenance as required	\$34,320							\$34,320					
DA O O		No work required of this first	Dreventive maintenance	Monitor roof condition and performance. Provide													
RA-8.0 RA-9.0	All roof areas	No work required at this time Preventive maintenance	Preventive maintenance Preventive maintenance	preventive maintenance as required	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3.500	\$3,500	\$3,500		
RA-9.0	All TUUL ATEAS	modified bitumen (mb) roof membrane with	Freventive maintenance		\$3,500	\$3,500	\$3,5UU	\$3,500	\$3,500	\$3,500		\$3,500	პ 3,500	\$3,500	\$3,500		
А	RA 1.0, 2.0, 3.0, 4.0, 5.0, 6.0	white surfacing															
D	RA 7.0	epdm ballasted roof membrane	1														<u> </u>
E	RA 2.1, 8.0	asphalt shingles	T	† t													
		· · · · ·		Building Envelope (Roofing) Subtotals at 4%													
				Inflation per year	\$1,030,090	\$4,160	\$3,780	\$3,920	\$377,653	\$683,395	\$151,549	\$49,922	\$4,795	\$4,970	\$5,180	\$0	\$1,289,324
Architect					2016					btotals include 4% I							
1.01	Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
A-01	Conference Room 222	Closer hardware is missing cover	Install new cover		\$500	\$500											
A-03	Vest 04	Wall base delaminating	Add mastic to adhere base		\$500		\$500										
A-06	Mechanical Room, Storage 103B	Older VCT	Confirm no acm (cost for abatement/new flooring)		\$5,200							\$5.200					
A-08	Room 104F	Existing doors have knob hardware	Replace with levers and locks		\$500							\$3,200	\$500				
A-00		Existing doors have knob hardware	Remove rust and paint, or replace frame		4 000								4 000				
A-11	Vest 11, Vest 02	Rusting at exterior door frame	(cost to prep/repaint)		\$500			\$500									
A-12	Classroom 115, Typ. at most classrooms	Rust/peeling paint at interior door frame	Remove rust and paint		\$10,625			\$10,625									
	· · · ·		Adjoin two stalls, replace partition,		4 - 7			1 - 7									
			patch/replace flooring and install														
A-15	Girls' Toilet 207, Boys Toilet 209	Restrooms do not offer ADA compliant stalls	compliant fixture and grab bars		\$15,550												
A-16	Corridor 08	Minor rust present at interior column	Remove rust, prep and paint		\$400			\$400									
A-18	Classroom 103	Damaged CMU at door wing wall	Repair masonry		\$800		A ===										
A-19	Toilet Room 102A	Ceramic tile cracking or missing	Replace damaged tile		\$500		\$500										
4 00	Art Davies 404	Kile la sata dia sa sa	Create separate room with rated		¢11.000												
A-20	Art Room 101	Kiln located in room	separation		\$11,820 district												
A-22	Music 100	Floor tile cracking	Replace tiles		maintenance												
		VCT and VCB missing near wall, adjacent to	- teptado moo	††													
A-23	Music 100	VUV	Install tile and base		\$400		\$400										
			Replace damaged tile and investigate		district		÷										
A-24	Toilet 201A	Ceiling tile is stained	cause of stains		maintenance												
			Replace flooring with no-wax option/new														
			cpt tiles (Assumes two-part epoxy														
		Fridada a Arabica (1990) and 1990 and 1990 and 1990	compromised upon flooring removal and														
A 20	Throughout Building	Existing flooring will reach the end of its useful			¢470.000										¢450.000	\$240.000	
A-29	Throughout Building	Painting will be required as part of routine	include Gym		\$478,800										\$159,333	\$318,666	
A-30	Throughout Building	maintenance	Re-paint walls		\$50,000								\$50,000				
A-30		Existing chairs are missing bottoms and are		1	φ00,000								φ50,000				
A-31	Conference Room	too large for space	Purchase new chairs														
	Office/Workroom	Office is in need of an "update"	Replace countertops, paint trim, etc.														
A-33	Hallway	Decorative paint striping is chipping	Repaint striping	1	\$1,800	\$1,800											
		Storage shelving needed to enlarge learning															
A-34	Stolton's Room	environment	Add storage shelving														
		Fuideling Repairs in some state of the state	Replace flooring with new multi-purpose														
A 05	Cum Flagring	Existing flooring is approaching the end of its	floor (assumes two-part epoxy must be		6440 500							¢440 500					
A-35	Gym Flooring	useful life	installed and no abatement required)		\$118,500							\$118,500					
A-36	Throughout Building- Typ. Classrooms	Furniture Replacement : 16 Classrooms	Furniture Replacement : 16 Classrooms		\$264,000							\$264,000					
	LRC	Furniture Replacement : 16 Classrooms	Furniture Replacement : 16 Classrooms	┨──────┤	\$264,000							\$264,000					<u> </u>
A-31		i uniture replacement . LNC			ψ120,000							ψ120,000					
A-38	Toilet Room 209	Bathroom not ADA Compliant	Combine stalls to create ADA stall; install grab bars		\$2,500		\$2,500										
A-30			ฐาลม มิสาร	Architectural Subtotals at 4% Inflation per	¢2,500		φ2,300										
				vear	\$1,082,895	\$2,392	\$4,212	02	92	\$0	\$0	\$670,164	\$69,185	02	\$235,813	\$490,746	\$1,472,511
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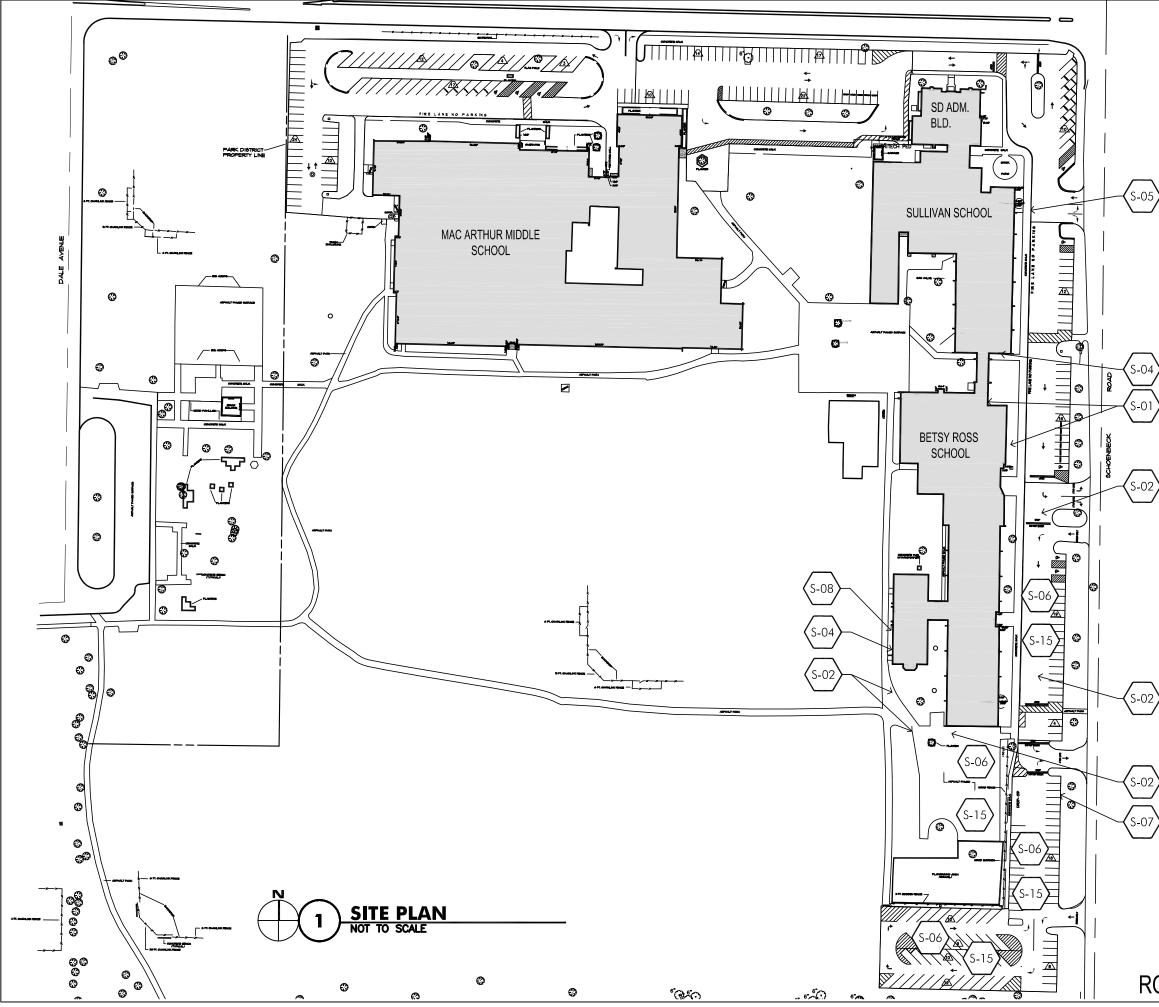


Betsy Ross Elementary School 01.05.17 Updated Report

Image: state Notice for the s	Electrical					2016				Subtetala include	49/ Inflation nor vo			-			
Image: Problem in the second interval inte	Electrical		Description of Work Hom	Decommonded Corrective Mecoure	Decommonded Dreventative Maintenance		2047	2019	2040				2024	2025	2026	2027.	Totalo
No. No. </th <th></th> <th></th> <th></th> <th></th> <th>Recommended Preventative Maintenance</th> <th></th> <th></th> <th>2018</th> <th>2019</th> <th>2020 2021</th> <th>2022</th> <th>2023</th> <th>2024</th> <th>2025</th> <th>2026</th> <th>2027+</th> <th>Totals</th>					Recommended Preventative Maintenance			2018	2019	2020 2021	2022	2023	2024	2025	2026	2027+	Totals
Image: And and any																	
No. No. </td <td>EM-2</td> <td>Corridor (near 111)</td> <td>Outlet within 6' of sink not GFI</td> <td></td> <td></td> <td>\$100</td> <td>\$100</td> <td></td>	EM-2	Corridor (near 111)	Outlet within 6' of sink not GFI			\$100	\$100										
Image: A problem of the state of																	
Der Der grande opposite of the production	EM-3	Building Wide				\$14,200				\$14,200							
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1 3 6 6 6 7<	EM-4	Building Wide	questionable condition.	wireless clocks		\$12,500				\$12,500							
Prime Response were and and a series of the series of				Expand with Rauland TCU. Allows													
Res Participation of the series Participatin series Participation of the series </td <td></td> <td></td> <td></td> <td>district wide notification system and</td> <td></td>				district wide notification system and													
No. No. <td>EM-5</td> <td>Building Wide Intercom</td> <td>Expand existing system to district wide system</td> <td>announcements.</td> <td></td> <td>\$6,000</td> <td></td> <td></td> <td></td> <td>\$6,000</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>	EM-5	Building Wide Intercom	Expand existing system to district wide system	announcements.		\$6,000				\$6,000							
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Image: Second angenes			Staff has indicated receptacles have constantly														
Image: Problem in the problem is split with a	EM-6	East Wing of Building															
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Image: state in the	EM-8	Fire Alarm	building.														
Leaders, Som Mo. Bacepie of Work Mode Reservation					Electrical Subtotals at 4% Inflation per year	\$33,800	\$1,144	\$0	\$0	\$38,259 \$0	\$0	\$0	\$0	\$0	\$0	\$0	\$39,403
Leaders, Som Mo. Bacepie of Work Mode Reservation																	
Image: state in the	Mechanic	al				2016				Subtotals include	4% Inflation per ye	ar	· · · · · · · · · · · · · · · · · · ·				
Normal Series of interaction of the series of the		Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance		2017	2018	2019				2024	2025	2026	2027+	Totals
MA And A																	
Main Read Control Contro Co																	
MA And-And The analysis of the order of the	MM-1	Roof	Gas piping with insufficient supports			\$500	\$500										
Mode		11001				\$000	4000										
Main	MM-2	Roof				\$4,000				\$4.00	n						
MAX Mod Mod <td>IVIIVI-Z</td> <td></td> <td></td> <td></td> <td></td> <td>φ4,000</td> <td></td> <td></td> <td>├</td> <td>\$4,000</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>	IVIIVI-Z					φ4,000			├	\$4,000							
Partial Partial <t< td=""><td>MM 2</td><td>Roof</td><td></td><td></td><td></td><td>¢0.000</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td>\$9,000</td><td></td><td></td></t<>	MM 2	Roof				¢0.000									\$9,000		
And the states were as as a state of the state	IVIIVI-3	Rooi	useiui liie.	within to years.		φ0,000									φ0,000		
And the states were as as a state of the state						010 500	0500		* •	0 0							A 17 A 10
Network Restrained Work were shore showned were showned					Mechanical Subtotals at 4% Inflation per year	\$12,500	\$520	\$0	\$0	\$0 \$4,880	\$0	\$0	\$0	\$0	\$11,840	\$0	\$17,240
Leating Description Recommende Oriente Main Recommende Arrente Main R		L															
Ph-1 Round 46 near labels fraces and beer paing has been devidence sint. Number puind advanded only during user at sint. For all of sint with regressing and user at sint. For all of sint with regressing and such as its. For all of sint with regressing and such as its. For all of sint with regressing and such as its. For all of sint with regressing and such as its. For all of sint with regressing and such as its. For all of sint with regressing and such as its. For all of sint with regressing and such as its. For all of sint with regressing and such as its. For all of sint with regressing and such as its. For all of sint with regressing and such as its. For all of sint with regressing and such as its. For all of sint with regressing and such as its. For all of sint with regressing and such as its. For all of sint with regressing and such as its. For all of sint with regressing and such as its sint with regressing and regressing and regressing and regressing and regressing and regressing and regressing and regressing and regressing and regressing and regressing and regressing and regressing and regr	Plumbing						0017	0010						0005		0007	
Ph.1 Room 100 more solar log more and log m		Locations, Room No.	Description of work item		Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020 2021	2022	2023	2024	2025	2026	2027+	Totals
Balance of the set of										A							
Ph2 wear pipel a base hash doed. drive water pipel a base hash doed. drive pipel a tab.k bb and doed water pipel a base hash. doed and doed water pipel a base hash. doed and doed water pipel a base hash. pipel a tab.k bb and doed water pipel a base hash. doed and doed water pipel a base hash. doed and doed water pipel a base hash. pipel a tab.k bb and doed water pipel a bash. pipel a tab.k bb and doed water pipel a base h	PM-1	Room 104G near Boiler Room 208		-		\$1,500				\$1,500)						
Pheta assessment 103-116 (14 datascome) water is aink. to add water require all mode water project output is aink. to add water require all mode water project output is aink. to add water require all mode water project output is aink. to add water require all mode water project output is aink. to add water require all mode water project output is aink. to add water require all mode water project output is aink. to add water require all mode water project output is aink. to add water require all mode water project output is aink. to add water require all mode water project output is aink. to add water require all mode water project output is aink. to add water require all mode water project output is aink. to add water require all mode water require all mode water project water output is aink. The project water output is add water require all water project water output is add water require all water project water output is add water require all water project water output is add water require all water project water output is add water require all water project water output is add water require all water project water output is add water require all water project water output is add water require all water project water output is add water require all water project water output is add water require all water project water output is add water require all water project water output is add water require all water project water output is add water require all water project water output is add water require all water project water output is add water require all water project water output is add water require all water project water output is add water require all water project water output is add water require all water project water output is add water require all water projec				ot													
PA-2 Classroom (13-11) (4 classroom) each eink. each eink. <t< td=""><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></t<>																	
PAIS Boys 209 and Girls 207 Plurbing futures are old and antiquated. piping in walls is gubanized piping waller supply piping in waller again transfer. Perform a supple futures and provide new water supply piping in waller again transfer. Boys 209 and Girls 207 Description of the supple futures and provide new water supple piping in waller again transfer. Boys 209 and Girls 207 Description of the supple futures and provide new water supple piping in waller again transfer. Boys 200 and Girls 207 Description of the supple piping in waller again transfer. Boys 200 and Girls 207 Description of the supple piping in waller again transfer. Boys 200 and Girls 207 Description of the supple piping in waller again transfer. Boys 200 and Girls 207 Description of the supple piping in waller again transfer. Boys 200 and Girls 207 Description of the supple piping in waller again transfer. Boys 200 and Girls 207 Description of the supple piping in waller again transfer. Boys 200 and Girls 207 Description of the supple piping in waller again transfer. Boys 200 and Girls 207 Description of the supple piping in waller again transfer. Boys 200 and Girls 207 Boys 200 and Girls 207 Description of the supple piping in waller again transfer. Boys 200 and Girls 207 Boys 200 and Girls 207 Description of the supple piping in waller again transfer. Boys 200 and Girls 207 Boys 200 a			water at sinks. Hot and cold water required at														
Ph-3 Byg 202 and Calins 207 priping multile signational points (PP) ewater supply priping multil-bases model multil-bases Series Control	PM-2	Classrooms 103-116 (14 classrooms)	each sink.	each sink.		\$45,000			\$45,000								
Ph-3 Byg 202 and Calins 207 priping multile signational points (PP) ewater supply priping multil-bases model multil-bases Series Control																	
Ph-3 Byg 202 and Calins 207 priping multile signational points (PP) ewater supply priping multil-bases model multil-bases Series Control			Plumbing fixtures are old and antiquated,	Replace plumbing fixtures and provide													
Image: Phane in the problem in the properties of the problem interview of	PM-3	Boys 209 and Girls 207				\$67,500									\$67,500		
PM-4 Boys 205, Girls 204, Tollet Room B40, GRPF. Substantial water assign and by addresses with "Water Series" certified futures. Parter Certified Futures. Substantial water assign and by addresses. Parter Certified Futures. Pa		<u> </u>	Water closets are rated at 3.5 gallons per flush							Ť.							
Ph-8 by 255, Girls 247, Toller from do not have a purple lavality and increases and a final data data data data data data data da																	
PM-4 Bogs 205, Girls 204, Toller Room 604, and routes Caller Room 60 have a rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring walls agalvanized. Sense ' carlfine for wall rouge a work supply pring wall rouge a work supply pring wall rou				Replace water closets with "Water													
Ph.5 Tolet Rooms 102A, 103A and 104A Tolet rooms do not have a proper lavatory. Add lavatory proping number does not allow for base of the advanced	PM-4	Boys 205, Girls 204, Toilet Room 08A				\$8.500									\$8,500		
Ph4s Tollet Rooms 102A, 103A and 104A Pinging in walls in gavanized. supply ping in wall chases. medel wall supply ping in wall chases. supply p						\$0,000									<i>40,000</i>		
Ph-6 Interface Replace and advance Replace andva	PM-5	Toilet Rooms 102A, 103A and 104A				\$30.000									\$30.000		
PM-6 All Electric Water Coolers are old an worm. model with water filter for lead removal. Stricting water coolers are old an worm. model with water filter for lead removal. Stricting water coolers are old an worm. model with water filter for lead removal. Stricting water coolers are old an worm. model with water filter for lead removal. Stricting water coolers are old an worm. model with water filter for lead removal. Stricting water coolers are old an worm. model with water filter for lead removal. Stricting water coolers are old an worm. model with water filter for lead removal. Stricting water coolers are old an worm. model water coolers are old an worm. worm water coolers are old an worm.			r iping in wallo in galvalized.			φ00,000					+				ψ00,000		
PM-7 Janitors Closets Existing map sink fauset does not allow for code compliant connection to chemical dispensing deaning equipment. Provide fauset with divert and RPZ badfow assembly. Pm-7 Statustical (Statustical) Statustical (Statustical) Statustical (Statustical) Statustical (Statustical) Statustical) Statustical) <td>PM-6</td> <td>All Electric Water Coolers</td> <td>(6) Electric water coolers are old and worn</td> <td></td> <td></td> <td>\$15,000</td> <td>\$15,000</td> <td></td>	PM-6	All Electric Water Coolers	(6) Electric water coolers are old and worn			\$15,000	\$15,000										
Phy alarks Code compliant connection to chemical packfore seambly. Provide faucet with diverter and RPZ backfore seambly. Code compliant connection to chemical packfore seambly. Provide faucet with diverter and RPZ backfore seambly. Status of the seambly. <td>101-0</td> <td></td> <td></td> <td>mean with water inter for lead renioval.</td> <td></td> <td>φ10,000</td> <td>ψ10,000</td> <td></td> <td>├</td> <td></td> <td>+</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>	101-0			mean with water inter for lead renioval.		φ10,000	ψ10,000		├		+						
PM-7 Janitors Closests dispensing cleaning equipment. backflow assembly. S3.00 S3.00 S4.00 S5.00 S4.00 S5.00			Existing mop sink lauger upes not allow ful	Descride forward with divertee and DDZ													
Image: state of the s						¢2,000		¢2 000									
Image: Control of the state of the	PM-7	lanitors Closets	code compliant connection to chemical						\$50,400	1 0		6 0	\$ 2	\$ C	£450.000	6 0	\$007 0F0
Image: construction constructin construction construction construction constru	PM-7	Janitors Closets	code compliant connection to chemical		Diumbing Subtetals at 49/ Inflation and		C15 000									50	\$227,950
Image: construction constructin construction construction construction constru	PM-7	Janitors Closets	code compliant connection to chemical		Plumbing Subtotals at 4% Inflation per year		\$15,600	φ3,240	\$30,400	\$0 \$1,83	<u>پ</u> 0	ψυ	۵ ۵	م 0	ψ100,000		
Image: construction contingency \$286,797 \$4,628 \$52,63 \$12,365 \$41,895 \$70,70 \$26,762 \$72,003 \$9,511 \$46,669 \$41,119 \$49,075 Image: construction contingency \$8% AVE Fee \$228,797 \$3,702 \$4,240 \$9,982 \$33,516 \$57,070 \$26,762 \$72,003 \$9,511 \$46,669 \$41,119 \$49,075 Image: construction constructin construction construction construction cons	PM-7	Janitors Closets	code compliant connection to chemical			\$170,500						φυ \$700.000	\$U	φU \$465.000		£400.740	
Image: constraint of the constraint	PM-7	Janitors Closets	code compliant connection to chemical		Subtotal	\$170,500 \$2,867,966	\$46,280	\$52,628	\$123,648	\$418,954 \$707,698	3 \$267,616				\$411,193	\$490,746	
$ \begin{array}{ c c c c c c c c c c c c c c c c c c c$	PM-7	Janitors Closets	code compliant connection to chemical		Subtotal 10% Design Contingency	\$170,500 \$2,867,966 \$286,797	\$46,280 \$4,628	\$52,628 \$5,263	\$123,648 \$12,365	\$418,954 \$707,693 \$41,895 \$70,770	3 \$267,616) \$26,762	\$72,009	\$9,511	\$46,569	\$411,193 \$41,119 \$41,119	\$49,075	
$ \begin{array}{ c c c c c c c c c c c c c c c c c c c$	PM-7	Janitors Closets	code compliant connection to chemical		Subtotal 10% Design Contingency 10% Construction Contingency	\$170,500 \$2,867,966 \$286,797 \$286,797	\$46,280 \$4,628 \$4,628	\$52,628 \$5,263 \$5,263	\$123,648 \$12,365 \$12,365	\$418,954 \$41,895 \$41,895 \$41,895 \$70,770 \$41,895	3 \$267,616 0 \$26,762 0 \$26,762	\$72,009 \$72,009	\$9,511 \$9,511	\$46,569 \$46,569	\$411,193 \$41,119 \$41,119 \$41,119	\$49,075 \$49,075	
Locations, Room No.Description of Work ItemRecommended Corrective MeasureRecommended Preventative MaintenanceBase Cost201920192020202120232024202520262027Image: Control of Work ItemImage: Contr	PM-7	Janitors Closets	code compliant connection to chemical		Subtotal 10% Design Contingency 10% Construction Contingency 8% A/E Fee	\$170,500 \$2,867,966 \$286,797 \$286,797 \$229,437	\$46,280 \$4,628 \$4,628 \$4,628 \$3,702	\$52,628 \$5,263 \$5,263 \$5,263 \$4,210	\$123,648 \$12,365 \$12,365 \$12,365 \$9,892	\$418,954 \$41,895 \$41,895 \$70,770 \$41,895 \$70,777 \$33,516 \$56,610	\$267,616 \$26,762 \$26,762 \$26,762 \$26,762 \$21,409	\$72,009 \$72,009 \$57,607	\$9,511 \$9,511 \$7,608	\$46,569 \$46,569 \$37,255	\$411,193 \$41,119 \$41,119 \$41,119 \$32,895	\$49,075 \$49,075 \$39,260	
Image: Non-state in the state in the sta	PM-7	Janitors Closets	code compliant connection to chemical		Subtotal 10% Design Contingency 10% Construction Contingency 8% A/E Fee	\$170,500 \$2,867,966 \$286,797 \$286,797 \$229,437	\$46,280 \$4,628 \$4,628 \$4,628 \$3,702	\$52,628 \$5,263 \$5,263 \$5,263 \$4,210	\$123,648 \$12,365 \$12,365 \$12,365 \$9,892	\$418,954 \$41,895 \$41,895 \$70,770 \$41,895 \$70,777 \$33,516 \$56,610	\$267,616 \$26,762 \$26,762 \$26,762 \$26,762 \$21,409	\$72,009 \$72,009 \$57,607	\$9,511 \$9,511 \$7,608	\$46,569 \$46,569 \$37,255	\$411,193 \$41,119 \$41,119 \$41,119 \$32,895	\$49,075 \$49,075	
Image: Non-state in the state in the sta			code compliant connection to chemical		Subtotal 10% Design Contingency 10% Construction Contingency 8% A/E Fee	\$170,500 \$2,867,966 \$286,797 \$286,797 \$229,437 \$3,670,996	\$46,280 \$4,628 \$4,628 \$4,628 \$3,702	\$52,628 \$5,263 \$5,263 \$5,263 \$4,210	\$123,648 \$12,365 \$12,365 \$12,365 \$9,892	\$418,954 \$707,699 \$41,895 \$70,77 \$41,895 \$70,77 \$33,516 \$56,611 \$536,261 \$905,853	\$267,616 \$26,762 \$26,762 \$26,762 \$21,409 \$342,548	\$72,009 \$72,009 \$57,607 \$921,711	\$9,511 \$9,511 \$7,608	\$46,569 \$46,569 \$37,255	\$411,193 \$41,119 \$41,119 \$41,119 \$32,895	\$49,075 \$49,075 \$39,260	
Image: state of the state		apital Equipment	code compliant connection to chemical dispensing cleaning equipment.	backflow assembly.	Subtotal 10% Design Contingency 10% Construction Contingency 8% A/E Fee TOTAL	\$170,500 \$2,867,966 \$286,797 \$286,797 \$229,437 \$3,670,996 2016	\$46,280 \$4,628 \$4,628 \$3,702 \$59,238	\$52,628 \$5,263 \$5,263 \$4,210 \$67,364	\$123,648 \$12,365 \$12,365 \$9,892 \$158,269	\$418,954 \$41,895 \$41,895 \$70,770 \$41,895 \$70,771 \$33,516 \$56,611 \$536,261 \$905,852 Subtotals include	3 \$267,616 0 \$26,762 0 \$26,762 3 \$21,409 3 \$342,548 4% Inflation per ye	\$72,009 \$72,009 \$57,607 \$921,711	\$9,511 \$9,511 \$7,608 \$121,735	\$46,569 \$46,569 \$37,255 \$596,082	\$411,193 \$41,119 \$41,119 \$32,895 \$526,327	\$49,075 \$49,075 \$39,260 \$628,154	
year \$0 \$		apital Equipment	code compliant connection to chemical dispensing cleaning equipment.	backflow assembly.	Subtotal 10% Design Contingency 10% Construction Contingency 8% A/E Fee TOTAL	\$170,500 \$2,867,966 \$286,797 \$286,797 \$229,437 \$3,670,996 2016	\$46,280 \$4,628 \$4,628 \$3,702 \$59,238	\$52,628 \$5,263 \$5,263 \$4,210 \$67,364	\$123,648 \$12,365 \$12,365 \$9,892 \$158,269	\$418,954 \$41,895 \$41,895 \$70,770 \$41,895 \$70,771 \$33,516 \$56,611 \$536,261 \$905,852 Subtotals include	3 \$267,616 0 \$26,762 0 \$26,762 3 \$21,409 3 \$342,548 4% Inflation per ye	\$72,009 \$72,009 \$57,607 \$921,711	\$9,511 \$9,511 \$7,608 \$121,735	\$46,569 \$46,569 \$37,255 \$596,082	\$411,193 \$41,119 \$41,119 \$32,895 \$526,327	\$49,075 \$49,075 \$39,260 \$628,154	Totals
year \$0 \$		apital Equipment	code compliant connection to chemical dispensing cleaning equipment.	backflow assembly.	Subtotal 10% Design Contingency 10% Construction Contingency 8% A/E Fee TOTAL	\$170,500 \$2,867,966 \$286,797 \$286,797 \$229,437 \$3,670,996 2016	\$46,280 \$4,628 \$4,628 \$3,702 \$59,238	\$52,628 \$5,263 \$5,263 \$4,210 \$67,364	\$123,648 \$12,365 \$12,365 \$9,892 \$158,269	\$418,954 \$41,895 \$41,895 \$70,770 \$41,895 \$70,771 \$33,516 \$56,611 \$536,261 \$905,852 Subtotals include	3 \$267,616 0 \$26,762 0 \$26,762 3 \$21,409 3 \$342,548 4% Inflation per ye	\$72,009 \$72,009 \$57,607 \$921,711	\$9,511 \$9,511 \$7,608 \$121,735	\$46,569 \$46,569 \$37,255 \$596,082	\$411,193 \$41,119 \$41,119 \$32,895 \$526,327	\$49,075 \$49,075 \$39,260 \$628,154	Totals
year \$0 \$		apital Equipment	code compliant connection to chemical dispensing cleaning equipment.	backflow assembly.	Subtotal 10% Design Contingency 10% Construction Contingency 8% A/E Fee TOTAL	\$170,500 \$2,867,966 \$286,797 \$286,797 \$229,437 \$3,670,996 2016	\$46,280 \$4,628 \$4,628 \$3,702 \$59,238	\$52,628 \$5,263 \$5,263 \$4,210 \$67,364	\$123,648 \$12,365 \$12,365 \$9,892 \$158,269	\$418,954 \$41,895 \$41,895 \$70,770 \$41,895 \$70,771 \$33,516 \$56,611 \$536,261 \$905,852 Subtotals include	3 \$267,616 0 \$26,762 0 \$26,762 3 \$21,409 3 \$342,548 4% Inflation per ye	\$72,009 \$72,009 \$57,607 \$921,711	\$9,511 \$9,511 \$7,608 \$121,735	\$46,569 \$46,569 \$37,255 \$596,082	\$411,193 \$41,119 \$41,119 \$32,895 \$526,327	\$49,075 \$49,075 \$39,260 \$628,154	Totals
		apital Equipment	code compliant connection to chemical dispensing cleaning equipment.	backflow assembly.	Subtotal 10% Design Contingency 10% Construction Contingency 8% A/E Fee TOTAL Recommended Preventative Maintenance	\$170,500 \$2,867,966 \$286,797 \$286,797 \$229,437 \$3,670,996 2016	\$46,280 \$4,628 \$4,628 \$3,702 \$59,238	\$52,628 \$5,263 \$5,263 \$4,210 \$67,364	\$123,648 \$12,365 \$12,365 \$9,892 \$158,269	\$418,954 \$41,895 \$41,895 \$70,770 \$41,895 \$70,771 \$33,516 \$56,611 \$536,261 \$905,852 Subtotals include	3 \$267,616 0 \$26,762 0 \$26,762 3 \$21,409 3 \$342,548 4% Inflation per ye	\$72,009 \$72,009 \$57,607 \$921,711	\$9,511 \$9,511 \$7,608 \$121,735	\$46,569 \$46,569 \$37,255 \$596,082	\$411,193 \$41,119 \$41,119 \$32,895 \$526,327	\$49,075 \$49,075 \$39,260 \$628,154	Totals
TOTALS \$3,670,996 \$59,238 \$67,364 \$158,269 \$536,261 \$905,853 \$342,548 \$921,711 \$121,735 \$596,082 \$526,327 \$628,154		apital Equipment	code compliant connection to chemical dispensing cleaning equipment.	backflow assembly.	Subtotal 10% Design Contingency 10% Construction Contingency 8% A/E Fee TOTAL Recommended Preventative Maintenance District Capital Equipment at 4% Inflation per	\$170,500 \$2,867,966 \$286,797 \$286,797 \$229,437 \$3,670,996 2016	\$46,280 \$4,628 \$4,628 \$3,702 \$59,238	\$52,628 \$5,263 \$5,263 \$4,210 \$67,364	\$123,648 \$12,365 \$12,365 \$9,892 \$158,269	\$418,954 \$41,895 \$41,895 \$70,770 \$41,895 \$70,771 \$33,516 \$56,611 \$536,261 \$905,852 Subtotals include	3 \$267,616 0 \$26,762 0 \$26,762 3 \$21,409 3 \$342,548 4% Inflation per ye	\$72,009 \$72,009 \$57,607 \$921,711	\$9,511 \$9,511 \$7,608 \$121,735	\$46,569 \$46,569 \$37,255 \$596,082	\$411,193 \$41,119 \$41,119 \$32,895 \$526,327	\$49,075 \$49,075 \$39,260 \$628,154	Totals
IUTALO 303(70,394) 303,201 303,200		apital Equipment	code compliant connection to chemical dispensing cleaning equipment.	backflow assembly.	Subtotal 10% Design Contingency 10% Construction Contingency 8% A/E Fee TOTAL Recommended Preventative Maintenance District Capital Equipment at 4% Inflation per	\$170,500 \$2,867,966 \$286,797 \$286,797 \$229,437 \$3,670,996 2016	\$46,280 \$4,628 \$4,628 \$3,702 \$59,238	\$52,628 \$5,263 \$5,263 \$4,210 \$67,364	\$123,648 \$12,365 \$12,365 \$9,892 \$158,269	\$418,954 \$41,895 \$41,895 \$70,770 \$41,895 \$70,771 \$33,516 \$56,611 \$536,261 \$905,852 Subtotals include	3 \$267,616 0 \$26,762 0 \$26,762 3 \$21,409 3 \$342,548 4% Inflation per ye	\$72,009 \$72,009 \$57,607 \$921,711	\$9,511 \$9,511 \$7,608 \$121,735	\$46,569 \$46,569 \$37,255 \$596,082	\$411,193 \$41,119 \$41,119 \$32,895 \$526,327	\$49,075 \$49,075 \$39,260 \$628,154	Totals \$0
		apital Equipment	code compliant connection to chemical dispensing cleaning equipment.	backflow assembly.	Subtotal 10% Design Contingency 10% Construction Contingency 8% A/E Fee TOTAL Recommended Preventative Maintenance District Capital Equipment at 4% Inflation per year	\$170,500 \$2,867,966 \$286,797 \$286,797 \$229,437 \$3,670,996 2016 Base Cost \$0 \$0	\$46,280 \$4,628 \$4,628 \$3,702 \$59,238 2017 \$0 \$0	\$52,628 \$5,263 \$5,263 \$4,210 \$67,364 2018 2018	\$123,648 \$12,365 \$12,365 \$9,892 \$156,269 2019 \$0 \$0	\$418,954 \$707,699 \$41,895 \$70,77, \$41,895 \$70,77 \$33,516 \$56,611 \$536,261 \$905,85; Subtotals include 2020 2021 \$0 \$1	\$267,616 \$26,762 \$26,762 \$26,762 \$342,548 \$342,548 4% Inflation per yee 2022 \$20 \$20 \$20 \$20	\$72,009 \$72,009 \$57,607 \$921,711 ar 2023 \$0	\$9,511 \$9,511 \$7,608 \$121,735 2024 \$0	\$46,569 \$46,569 \$37,255 \$596,082 2025 \$0 \$0	\$411,193 \$41,119 \$41,119 \$32,895 \$526,327 2026 \$0	\$49,075 \$49,075 \$39,260 \$628,154 2027+ \$0	\$0

**Note: See attached "Wood Siding Replacement Budget" Multiple finish options are being considered at a budget range of \$90,391-\$151,456. Installation of new windows to restore the size of the original openings is also being explored. Budget number for this option to follow.







ard, illinois 60148 p: 630.495.1900

10 Year Long Range Facility Plan

at DWIGHT D. EISENHOWER ELEMENTARY 1N. Schoenbeck Rd. Prospect Heights, IL 60070

BETSY ROSS ELEMENTARY 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

ANN SULLIVAN ELEMENTARY

700 N. Schoenbeck Rd. Prospect Heights, IL 60070

DOUGLAS MACARTHUR MIDDLE SCHOOL 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

for the

BOARD of EDUCATION Prospect Heights School District 23 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

> **WORK ITEMS** PLANS

REVISIONS No. Date

By

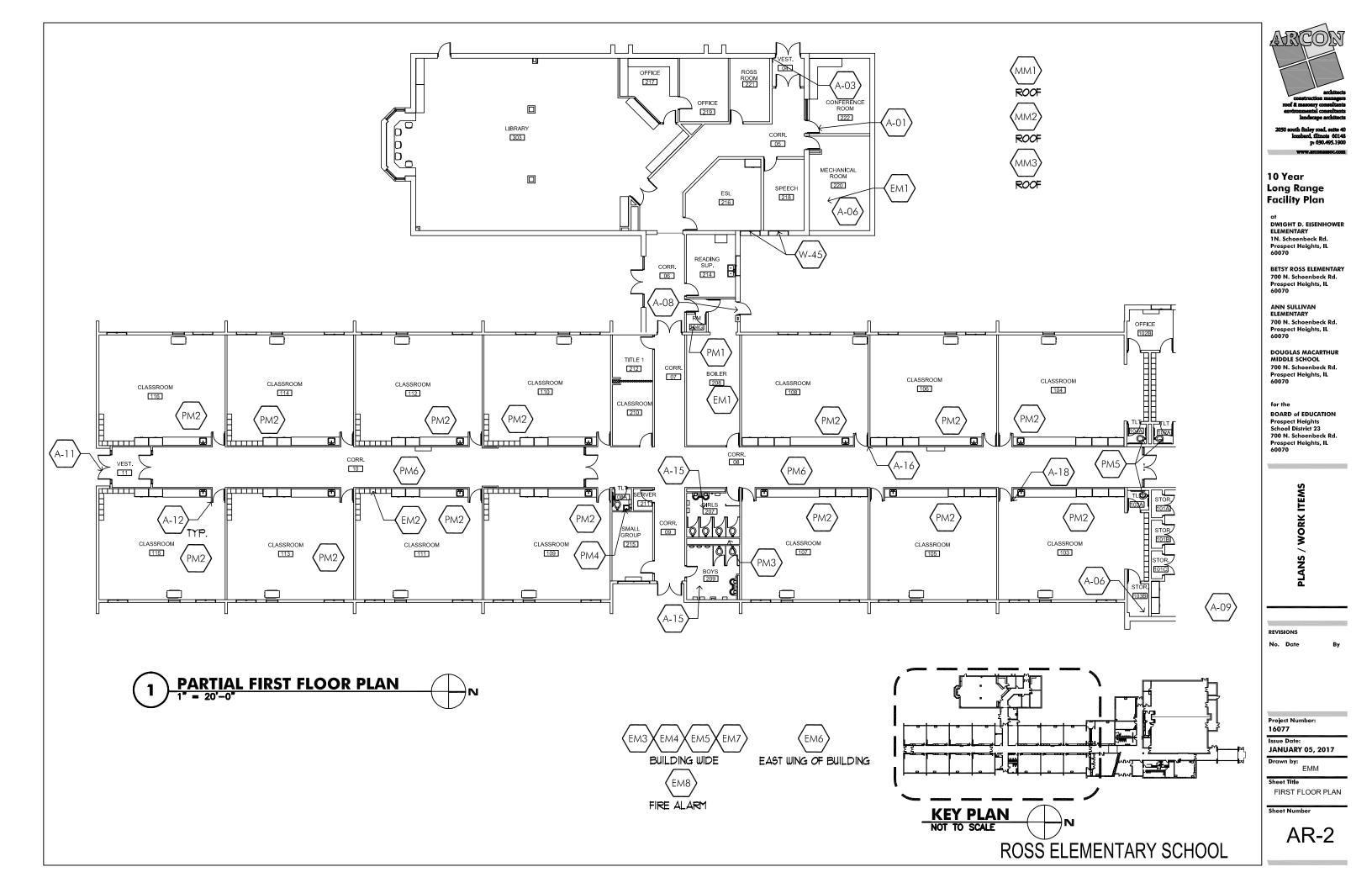
Project Number: 16077 Issue Date: JANUARY 05, 2017 Drawn by: EMM Sheet Title

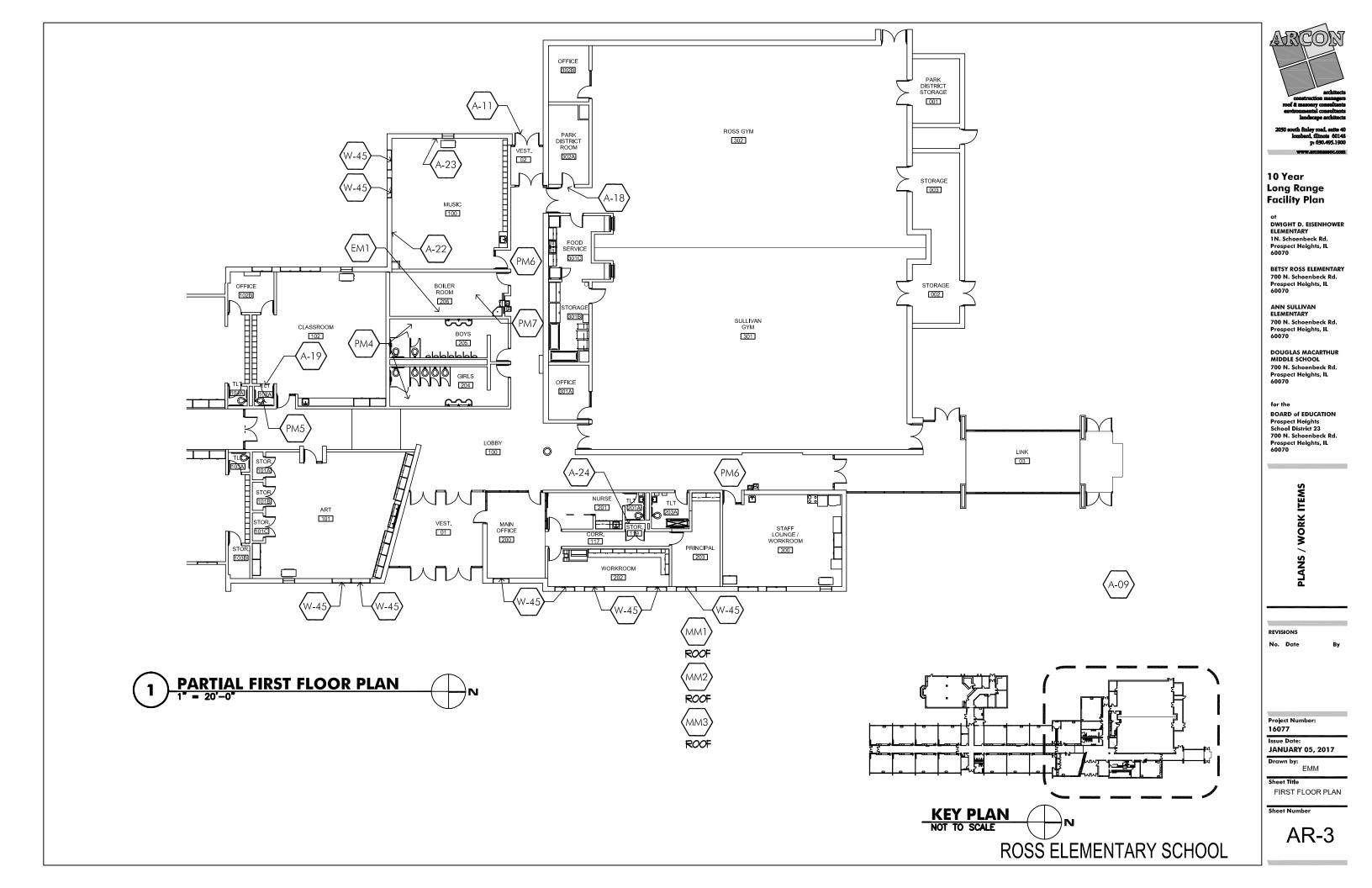
SITE PLAN

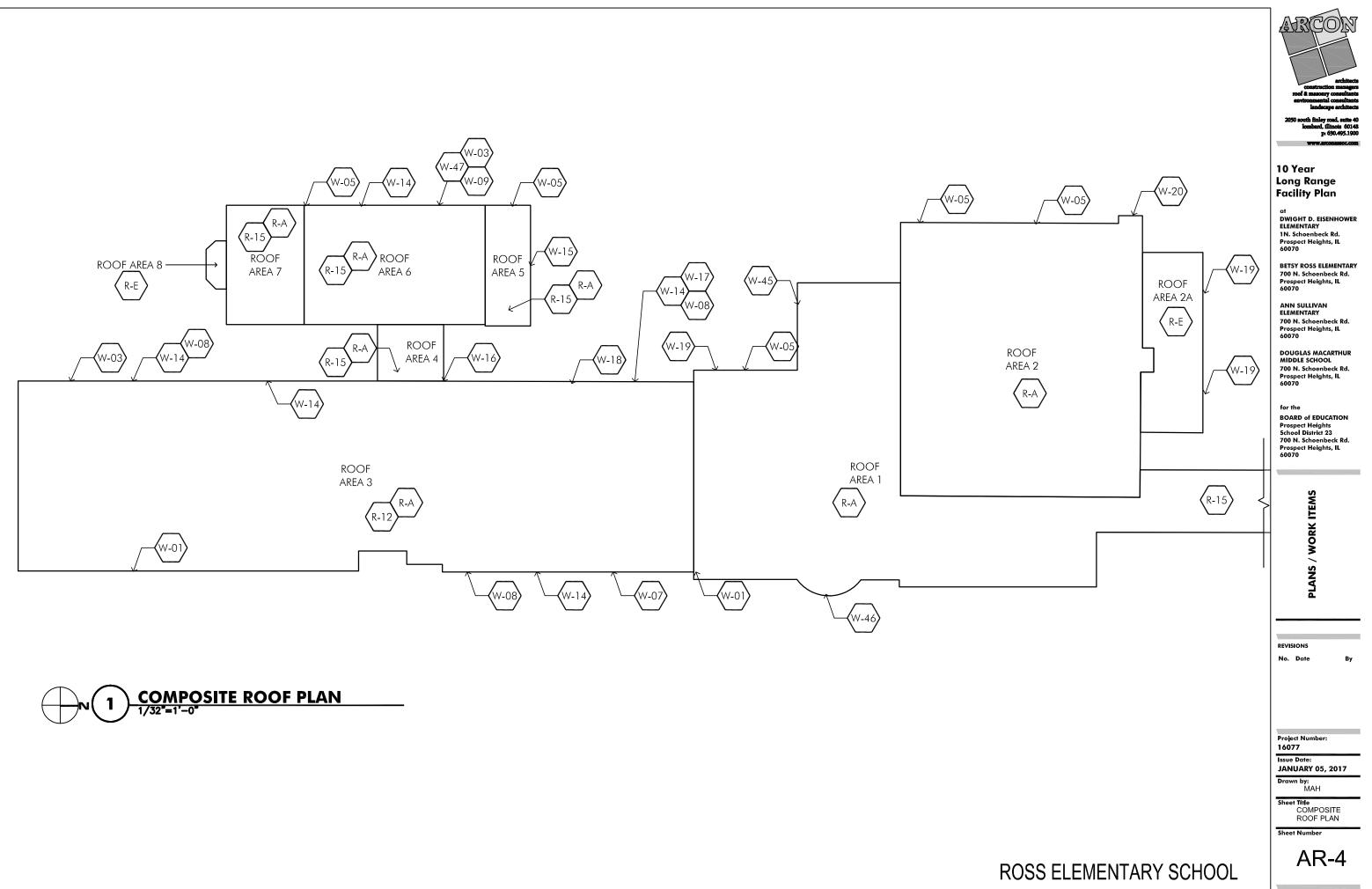
Sheet Number

AR-1

ROSS ELEMENTARY SCHOOL







10 Year Long Range Facility Plan Prepared for Prospect Heights School District 23



Owner: Board of Education Prospect Heights School District 23 700 N. Schoenbeck Road Prospect Heights, Illinois 60070



Architect:

ARCON Associates, Inc. 2050 South Finley Road, Suite 40 Lombard, Illinois 60148 Project No. 16077

Mechanical/ Electrical / Plumbing: 20/10 Engineering 1216 Tower Road Schaumburg, Illinois 60173



January 05, 2017



Sullivan Elementary School 01.05.17 Updated Report

Site					2016				Su	ubtotals include 4	% Inflation per yea	r					
	Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
S-01	East Elevation	Landscape covers foundation wall	below brick/top of foundation		\$2,000			\$2,000									
		Existing cracking, alligatoring, and/or general															
S-02	Parking Lot- Various Locations	deterioration requires asphalt patching	Patch asphalt		\$6,900		\$6.900							ı	,	1	1
S-02	South Playground	Existing alligatoring requires asphalt patching			\$4,000		\$4,000										
S-04	North of Link	Handrail is rusting	Remove rust/paint handrail		\$1,600		ψ1,000		\$1.600					i t			
0 04		Thanaraino rusting			φ1,000				ψ1,000					(t		<u> </u>	1
S-05	East Walk	ADA curb cuts missing tactile warning	Add tactile warning (truncated dome) for compliant ADA curb cut		\$1,200												
3-05	East walk		compliant ADA curb cut		\$1,200									ł		t	1
		Life of lots will be extended with preventative		Crackfill/Sealcoat on a 3-Year Cycle, Re-stripe													
S-06	Parking Lots, Playground, Paths	maintenance		lots/curb										⊢−−−− ∔		 	
	Lot D (Parking)				\$3,560		\$3,560			\$3,560			\$3,560	⊢−−−−			
	Lot H (Playground)				\$3,180		\$3,180			\$3,180			\$3,180	اا			4
		Asphalt lots require replacement at end of	Replace asphalt parking lot (retain														
S-15	Parking Lots	expected life	existing stone)											1			
	Lot D (Parking)				\$80,100									\$80,100			
	Lot H (Playground)				\$71,550									\$71,550			
		Older playground units are approaching the	Playground units evaluated and											1			
S-16	Playground Equipment	end of their useful life	determined to be in sound condition											, I		1	1
S-17	Athletic Fields	Uneven surface/potholes create trip hazards	Regrade fields											i t			
5 17	Sidewalks	Annual sidewalk maintenance		Replace damaged concrete pads	\$1,000		\$1,000		\$1.000		\$1.000		\$1.000	·t	\$1.000	/	t
	Cidewalks	Aundal sidewaik maintenance		Site Subtotals at 4% Inflation per year	\$175.090	02	\$20,131	\$2,240	\$3.042	\$8,223	\$1,270	02	\$10.604	\$215.343	\$1,480		\$262.333
				Site Subiotals at 478 initiation per year	\$173,030	ψυ	φ20,131	ψ2,240	40,04Z	ψ0,223	ψ1,270	ψυ	ψ10,00 4	φ210,040	ψ1,400	ψU	φ202,333
Duilding	Envelope (Walls / Masonry)				2016				e.	uhtetele include 4	% Inflation per yea						1
Building	Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
W-01					\$2,500	\$2,500	2010	2019	2020	2021	2022	2023	2024	2025	2020	2027+	Totals
VV-01	South Elevation near Door 20	Deteriorated masonry mortar joints	Grind and point deteriorated masonry	Grind and point deteriorated masonry	\$2,500	\$2,500								ł		├ ────	ł
W-05	Southwest Elevation (1)	Deteriorated sealant at vertical masonry contri ioints	install joint backer rod and sealant	Remove sealant, clean and prime joint, install joint backer rod and sealant	\$1,000	\$1,000											
VV-05	Southwest Elevation (1)	Joints		Joint backer fou and sealant	\$1,000	\$1,000								ł		t	├ ────┦
			Remove rowlock masonry sills, install											ı	l.		1
W-06	East Elevation	Rowlock masonry sills without flashing	flashing and new limestone sills	Monitor and decide if necessary										⊢−−−− ∔		↓	+
W-07	East Elevation	Landscaping over top of foundation wall		Monitor										⊦∔		ł	+
				Maintain as needed until replacement; Remove 5/8" tongue and groove vertical siding. Install										ı	l.		
				new ice and water shield underlayment and													
			Remove and replace siding and replace	new 12" wide, 24 ga. Steel Peterson Flush													
	East and west elevation of area 6 and west	Intrusive investigation of wood siding complete	e, substrate as required. Discuss exterior	Panels and associated trim. **Additional finish										ı	l.		1
W-08	elevation of area 1	siding found to be in deteriorating conditions	finish options.	options being considered.	\$116,587						\$116,587			ıl		<u> </u>	1
W-09	East elevation	Deterioration at top of foundation wall	Form and repair affected area	Form and repair affected area	\$500	\$500								1			
W-10	East elevation	Openings in wood siding	Close / seal openings in wood siding	Close / seal openings in wood siding	\$1,500	\$1,500											
W-11	Southeast elevation	Rusting at handrails	Prime and paint handrails											·			
	Center of East elevation (1), Southeast	Creating of the measure at interesting the	Drouido nou mononny control isist	Dravida navy magazity control joint	60 000	\$2,000								ı I		1	1
W-12 W-14	Elevation (1) West Elevation of Area 1	Cracking of the masonry at intersecting walls No flashing at top of foundation wall	Provide new masonry control joint Remove masonry and provide flashing	Provide new masonry control joint Monitor and decide if necessary	\$2,000	\$2,000								┍─────┤		t	+
W-14 W-21	South Elevation of Area 4	Rusting at roof support columns	Prime and paint roof support columns	Prime and paint roof support columns	\$500	\$500								ł		<u> </u>	t
		<u> </u>	Patch masonry / wood siding at exposed		çcco									i — †			
W-22	West Elevation of Area 1 (10)	Exposed ends of steel beams	ends of steel beams	of steel beams	\$3,000	\$3,000								<u> </u>		<u> </u>	L
W-43	West Elevation of Area 1 (2)	Evidence of leaking window	Investigate and seal window frame	Investigate where window is leaking										,		L	1
	2 window systems / Work Room 102A and Classroom 132	Craze cracking of finish on window frame	Drepare, prime and point from -	Prepare, prime and paint frame	\$ 500	\$500								ı I		1	1
W-44	Classroom 132	A number of existing windows are not thermal	Prepare, prime and paint frame	Prepare, prime and paint frame	\$500	\$500								/────┼		┢─────	<u> </u>
W-45	2 window systems / Classroom 121 and 130	broken	Replace window systems		\$7.500			\$7,500						, I		1	1
W-46	North Elevation, Near Entrance	Wood sills prone to deterioration	Replace wood sills with stone		φr,000			ψ1,000					1	(†		·	r
		Minor rust, deterioration of paint at exterior	Paint exterior doors and/or frames and								İ			í – – – †	-		
W-47	Throughout Building	doors	add drip cap		\$6,000			\$6,000						↓ ↓			I
14/ 40	Theorytheyd Duilding		FEMoran to seal units indicated on 2010											ı I		1	1
W-48	Throughout Building	New VUV units not sealed properly	spreadsheet											┍─────┤		t	+
W-49	Northeast Corner	Deterioration at control joint	Remove existing sealant and install new		\$600	\$600								ı I		1	1
				Building Envelope (Walls/Masonry)	¢000	<i>\$</i> 300											
				Subtotals at 4% Inflation per year	\$142,187	\$12,584	\$0	\$15,120	\$0	\$0	\$148,065	\$0	\$0	\$0	\$0	\$0	\$175,769





Sullivan Elementary School 01.05.17 Updated Report

Building Envelope (Roofing)				2016				Su	btotals include 4%	Inflation per ve	ar					
Locations. Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
Random throughout Roof Area 2.0, 3.0, 7.0,	Description of Work term		Monitor roof condition and performance.	Dusc oust	2011	2010	2013	2020	2021	LULL	2020	2024	2020	2020	20214	Totalo
R-07 8.0	Blistering of roof membrane	No action at this time, monitor	Provide preventive maintenance as required													
Roof Area 2.0 (7+), 3.0 (24+), 7.0 (6), 8.0	blistering of foor membrane	No action at this time, monitor	Monitor roof condition and performance.													
R-08 (16+)	Previous patching of roof membrane	No action at this time, monitor	Provide preventive maintenance as required													
K-08 (10+)		No action at this time, monitor														
R-14 Typical throughout Roof Area 4.0, 6.0	Organic growth of some type on all roof	No action at this time, manitar	Monitor roof condition and performance.													
R-14 Typical throughout Roof Area 4.0, 6.0	membranes with white coating	No action at this time, monitor	Provide preventive maintenance as required													
	Deterioration / delamination of white coating		Monitor roof condition and performance.													
R-15 Random throughout roof area 6.0	due to ponding water	No action at this time, monitor	Provide preventive maintenance as required													
	Missing section of standing seam metal wall	Replace metal panel. Section of metal is														
R-16 East wall of roof area 2.0	panel	on the roof	Replace panel	\$125												
	Roof area has reached the end of its		Monitor roof condition and performance.													
RA-1.0	serviceable life	Replace roof area	Provide preventive maintenance as required	\$52,320							\$52,320					
	Roof area has reached the end of its		Monitor roof condition and performance.													
RA-2.0	serviceable life	Replace roof area	Provide preventive maintenance as required	\$29,640					\$29,640							
	Roof area has reached the end of its		Monitor roof condition and performance.													
RA-3.0	serviceable life	Replace roof area	Provide preventive maintenance as required	\$66,300					\$66,300							
	Roof area has reached the end of its		Monitor roof condition and performance.													
RA-4.0	serviceable life	Replace roof area	Provide preventive maintenance as required	\$78,000				\$78,000								
	Roof area has reached the end of its		Monitor roof condition and performance.	.				* ·•,•••								
RA-5.0	serviceable life	Replace roof area	Provide preventive maintenance as required	\$40,950					\$40.950							
1010.0	Roof area has reached the end of its		Monitor roof condition and performance.	φ40,930					φ 4 0,930							
RA-6.0	serviceable life	Replace roof area		\$403,000				\$403,000								
10-0.0		nepiace iour area	Provide preventive maintenance as required	φ403,000				φ403,000								
RA-7.0	Roof area has reached the end of its	Deplose reaf area	Monitor roof condition and performance.	A00 470					\$28.470							
KA-7.U	serviceable life	Replace roof area	Provide preventive maintenance as required	\$28,470					\$28,470							
84.9.9	Roof area has reached the end of its		Monitor roof condition and performance.													
RA-8.0	serviceable life	Replace roof area	Provide preventive maintenance as required	\$72,670					\$72,670							
All roof areas	Preventive maintenance	Preventive maintenance		\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500		
	Modified bitumen (mb) roof membrane with			1 1					Т	Т	Т		Т	Т		
A RA 4.0, 6.0	white surfacing															
	Modified bitumen (mb) roof membrane with															
B RA 2.0, 3.0, 5.0, 7.0, 8.0	black granule surfacing															
E RA 1.0	Asphalt shingles															
	- is - in the second		Building Envelope (Roofing) Subtotals at 4%													
			Inflation per year	\$774,975	\$3.640	\$3,780	\$3.920	\$566,865	\$294,667	\$4,445	\$73,682	\$4,795	\$4,970	\$5,180	\$0	\$965,944
				<i><i>φττι</i>,σ<i>τσ</i></i>	\$0,010	\$0,100	\$0,020	\$000,000	\$20 I,001	\$ 1,110	¢. 0,002	\$ 1,100	\$ 1,07 0	40,100	φo	\$000,011
Architectural																
				2016				Su	ibtotals include 4%	Inflation per ve						
	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	2016 Base Cost	2017	2018	2019		btotals include 4%			2024	2025	2026	2027+	Totals
Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	Su 2020	2021	Inflation per ye 2022	2023	2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet	•		Recommended Preventative Maintenance	Base Cost district	2017	2018	2019					2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A	Description of Work Item Ceramic tile cracking or missing	Replace damaged tile	Recommended Preventative Maintenance	Base Cost	2017	2018	2019					2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom	Ceramic tile cracking or missing	Replace damaged tile Clean and prep exist wall crack. Install	Recommended Preventative Maintenance	Base Cost district maintenance	2017		2019					2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance	Ceramic tile cracking or missing Cracking at interior masonry wall	Replace damaged tile	Recommended Preventative Maintenance	Base Cost district	2017	2018 \$2,000	2019					2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet 105A Girls' Toilet 143, Boys' Toilet 141, Workroom 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom	Ceramic tile cracking or missing Cracking at interior masonry wall	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint.	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000	2017		2019				2023	2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting	Replace damaged tile Clean and prep exist wall crack. Install	Recommended Preventative Maintenance	Base Cost district maintenance	2017		2019					2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000	2017		2019				2023	2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500	2017		2019				2023 \$1,500	2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 \$500	2017		2019				2023	2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 district	2017		2019				2023 \$1,500	2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 district maintenance	2017						2023 \$1,500	2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 district	2017		2019 				2023 \$1,500	2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 \$500 district maintenance \$3,000	2017		\$3,000				2023 \$1,500	2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 district maintenance	2017						2023 \$1,500	2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture Remove rust and paint, or replace frame (cost to prep/repaint) Confirm no acm (cost for abatement/new	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 \$500 district maintenance \$3,000	2017		\$3,000				2023 \$1,500	2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture Remove rust and paint, or replace frame (cost to prep/repaint) Confirm no acm (cost for abatement/new	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 \$500 district maintenance \$3,000	2017		\$3,000				2023 \$1,500	2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Replace fixture Remove obstruction Replace fixture Remove rust and paint, or replace frame (cost to prep/repaint) Confirm no acm (cost for abatement/new flooring)	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 \$500 district maintenance \$3,000 \$500 \$1,950	2017		\$3,000				2023 \$1,500 \$500	2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-12 Throughout Building	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Replace vent Replace with levers and locks Remove obstruction Replace fixture Construction Replace fixture Remove rust and paint, or replace frame (cost to pre/repaint) Confirm no acm (cost for abatement/new flooring) Remove rust and paint	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 district maintenance \$3,000 \$500 \$1,950 \$1,950	2017		\$3,000 \$500 \$8,775				2023 \$1,500 \$500	2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-13 Throughout Building A-14 Girls' 133	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rusting at column base	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture Remove rust and paint, or replace frame (cost to prep/repaint) Confirm no acm (cost for abatement/new flooring) Remove rust and paint	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 district maintenance \$3,000 \$500 \$1,950 \$4,950 \$8,775 \$500	2017	\$2,000	\$3,000				2023 \$1,500 \$500	2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-13 Throughout Building A-16 Classroom 151	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rusting at column base Cable exposed at ceiling and wall	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture Remove rust and paint, or replace frame (cost to prep/repaint) Confirm no acm (cost for abatement/new flooring) Remove rust and paint Remove rust and paint Install wiremold	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 district maintenance \$3,000 \$500 \$1,950 \$1,950 \$1,950 \$1,950 \$1,950 \$5,000 \$1,950 \$5,000 \$5,000 \$5,000 \$5,000 \$5,000	2017		\$3,000 \$500 \$8,775		2021		2023 \$1,500 \$500	2024	2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-13 Throughout Building A-14 Girls' 133	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rusting at column base	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture Remove rust and paint, or replace frame (cost to prep/repaint) Confirm no acm (cost for abatement/new flooring) Remove rust and paint	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 district maintenance \$3,000 \$500 \$1,950 \$4,950 \$8,775 \$500	2017	\$2,000	\$3,000 \$500 \$8,775				2023 \$1,500 \$500		2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-13 Throughout Building A-16 Classroom 151	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rusting at column base Cable exposed at ceiling and wall	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture Remove rust and paint, or replace frame (cost to prep/repaint) Confirm no acm (cost for abatement/new flooring) Remove rust and paint Install wiremold Replace as needed (price per room)	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 district maintenance \$3,000 \$500 \$1,950 \$1,950 \$1,950 \$1,950 \$1,950 \$5,000 \$1,950 \$5,000 \$5,000 \$5,000 \$5,000 \$5,000	2017	\$2,000	\$3,000 \$500 \$8,775		2021		2023 \$1,500 \$500		2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-13 Throughout Building A-16 Classroom 151	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rusting at column base Cable exposed at ceiling and wall Older base cabinets along wall	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture Remove rust and paint, or replace frame (cost to prep/repaint) Confirm no acm (cost for abatement/new filtoring) Remove rust and paint Install wiremold Replace as needed (price per room) Replace as neoted (price per room)	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 district maintenance \$3,000 \$500 \$1,950 \$1,950 \$1,950 \$1,950 \$1,950 \$5,000 \$1,950 \$5,000 \$5,000 \$5,000 \$5,000 \$5,000	2017	\$2,000	\$3,000 \$500 \$8,775		2021		2023 \$1,500 \$500		2025	2026	2027+	Totais
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-14 Girls' 133 A-16 Classroom 151 A-18 Classroom 149, Typ.	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rusting at column base Cable exposed at ceiling and wall	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture Remove rust and paint, or replace frame (cost to prep/repaint) Confirm no acm (cost for abatement/new flooring) Remove rust and paint Renove rust and paint Real with no-wax option/new (carpet tiles (Assumes epoxy moisture	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 district maintenance \$3,000 \$1,950 \$500 \$1,950 \$2,000	2017	\$2,000	\$3,000 \$500 \$8,775		2021		2023 \$1,500 \$500		2025			Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-13 Throughout Building A-16 Classroom 151	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rusting at column base Cable exposed at ceiling and wall Older base cabinets along wall Existing flooring will reach the end of its useful life	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture Remove rust and paint, or replace frame (cost to prep/repaint) Confirm no acm (cost for abatement/new filtoring) Remove rust and paint Install wiremold Replace as needed (price per room) Replace as neoted (price per room)	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 district maintenance \$3,000 \$500 \$1,950 \$1,950 \$1,950 \$1,950 \$1,950 \$5,000 \$1,950 \$5,000 \$5,000 \$5,000 \$5,000 \$5,000	2017	\$2,000	\$3,000 \$500 \$8,775		2021		2023 \$1,500 \$500		2025	2026	2027+	Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet 105A A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-13 Throughout Building A-16 Classroom 151 A-18 Classroom 149, Typ.	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rusting at column base Cable exposed at ceiling and wall Older base cabinets along wall Existing flooring will reach the end of its useful life Painting will be required as part of routine	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture Confirm no acm (cost for abatement/new flooring) Remove rust and paint Remove rust and paint Install wiremold Replace as needed (price per room) Replace tiles (Assumes epoxy moisture mitigation system already in place)	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 \$5500 district maintenance \$3,000 \$500 \$1,950 \$500 \$1,950 \$8,775 \$500 \$12,000 \$448,000	2017	\$2,000	\$3,000 \$500 \$8,775		2021		2023 \$1,500 \$500		2025			Totais
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-14 Girls' 133 A-16 Classroom 151 A-18 Classroom 149, Typ.	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rusting at column base Cable exposed at ceiling and wall Older base cabinets along wall Existing flooring will reach the end of its useful life	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture Remove rust and paint, or replace frame (cost to prep/repaint) Confirm no acm (cost for abatement/new flooring) Remove rust and paint Replace as needed (price per room) Replace flooring with no-wax option/new itigation system already in place) Re-paint walls	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 district maintenance \$3,000 \$500 \$1,950 \$500 \$1,950 \$1,950 \$1,950 \$1,950 \$1,950 \$12,000 \$448,000 \$40,000	2017	\$2,000	\$3,000 \$500 \$8,775		2021		2023 \$1,500 \$500	2024	2025			Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-13 Throughout Building A-14 Girls' 133 A-16 Classroom 151 A-18 Classroom 149, Typ. A-19 Throughout Building A-20 Throughout Building	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rusting at column base Cable exposed at ceiling and wall Older base cabinets along wall Existing flooring will reach the end of its useful life Painting will be required as part of routine maintenance	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture Confirm no acm (cost for abatement/new flooring) Remove rust and paint Remove rust and paint Install wiremold Replace as needed (price per room) Replace tiles (Assumes epoxy moisture mitigation system already in place)	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 istrict maintenance \$3,000 \$1,950 \$4,000 \$1,950 \$4,000 \$448,000 \$40,000	2017	\$2,000	\$3,000 \$500 \$8,775		2021		2023 \$1,500 \$500		2025			Totais
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-13 Throughout Building A-18 Classroom 149, Typ.	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rusting at column base Cable exposed at ceiling and wall Older base cabinets along wall Existing flooring will reach the end of its useful life Painting will be required as part of routine	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture Remove rust and paint, or replace frame (cost to prep/repaint) Confirm no acm (cost for abatement/new flooring) Remove rust and paint Replace as needed (price per room) Replace flooring with no-wax option/new itigation system already in place) Re-paint walls	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 district maintenance \$3,000 \$500 \$1,950 \$500 \$1,950 \$1,950 \$1,950 \$1,950 \$1,950 \$12,000 \$448,000 \$40,000	2017	\$2,000	\$3,000 \$500 \$8,775		2021		2023 \$1,500 \$500		2025			Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-13 Throughout Building A-14 Girls' 133 A-16 Classroom 151 A-18 Classroom 149, Typ. A-19 Throughout Building A-20 Throughout Building	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rust/peeling paint at interior door frame Cable exposed at ceiling and wall Older base cabinets along wall Existing flooring will reach the end of its useful life Painting will be required as part of routine maintenance Ceiling tile damaged near fire sprinkler	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture Remove rust and paint, or replace frame (cost to prep/repaint) Confirm no acm (cost for abatement/new flooring) Remove rust and paint Replace as needed (price per room) Replace flooring with no-wax option/new itigation system already in place) Re-paint walls	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 istrict maintenance \$3,000 \$1,950 \$4,000 \$1,950 \$4,000 \$448,000 \$40,000	2017	\$2,000	\$3,000 \$500 \$8,775		2021		2023 \$1,500 \$500		2025			Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-13 Throughout Building A-16 Classroom 151 A-18 Classroom 149, Typ. A-19 Throughout Building A-20 Throughout Building A-21 Entryway near Admin	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rusting at column base Cable exposed at ceiling and wall Older base cabinets along wall Existing flooring will reach the end of its useful life Painting will be required as part of routine maintenance Ceiling tile damaged near fire sprinkler Reconfiguration to improve traffic flow and	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture Remove outst and paint, or replace frame (cost to prep/repaint) Confirm no acm (cost for abatement/new filtoring) Remove rust and paint Install wiremold Replace flooring with no-wax option/new I carpet tiles (Assumes epoxy moisture mitigation system already in place) Re-paint walls Replace tile and investigate cause of leak	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 istrict maintenance \$3,000 \$1,950 \$4,000 \$1,950 \$4,000 \$448,000 \$40,000	2017	\$2,000	\$3,000 \$500 \$8,775		2021		2023 \$1,500 \$500		2025			Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-13 Throughout Building A-14 Girls' 133 A-16 Classroom 151 A-18 Classroom 149, Typ. A-19 Throughout Building A-20 Throughout Building	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rust/peeling paint at interior door frame Cable exposed at ceiling and wall Older base cabinets along wall Existing flooring will reach the end of its useful life Painting will be required as part of routine maintenance Ceiling tile damaged near fire sprinkler	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture Remove outst and paint, or replace frame (cost to prep/repaint) Confirm no acm (cost for abatement/new filtoring) Remove rust and paint Install wiremold Replace flooring with no-wax option/new I carpet tiles (Assumes epoxy moisture mitigation system already in place) Re-paint walls Replace tile and investigate cause of leak	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 istrict maintenance \$3,000 \$1,950 \$4,000 \$1,950 \$4,000 \$448,000 \$40,000	2017	\$2,000	\$3,000 \$500 \$8,775		2021		2023 \$1,500 \$500		2025			Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-13 Throughout Building A-16 Classroom 151 A-18 Classroom 149, Typ. A-19 Throughout Building A-20 Throughout Building A-21 Entryway near Admin	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rusting at column base Cable exposed at ceiling and wall Older base cabinets along wall Existing flooring will reach the end of its useful life Painting will be required as part of routine maintenance Ceiling tile damaged near fire sprinkler Reconfiguration to improve traffic flow and	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture Remove outst and paint, or replace frame (cost to prep/repaint) Confirm no acm (cost for abatement/new filtoring) Remove rust and paint Install wiremold Replace flooring with no-wax option/new I carpet tiles (Assumes epoxy moisture mitigation system already in place) Re-paint walls Replace tile and investigate cause of leak	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 istrict maintenance \$3,000 \$1,950 \$4,000 \$1,950 \$4,000 \$448,000 \$40,000	2017	\$2,000	\$3,000 \$500 \$8,775		2021		2023 \$1,500 \$500		2025			Totais
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-13 Throughout Building A-16 Classroom 151 A-18 Classroom 149, Typ. A-19 Throughout Building A-20 Throughout Building A-21 Entryway near Admin	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rusting at column base Cable exposed at ceiling and wall Older base cabinets along wall Existing flooring will reach the end of its useful life Painting will be required as part of routine maintenance Ceiling tile damaged near fire sprinkler Reconfiguration to improve traffic flow and	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Revise desk layout Replace with levers and locks Remove obstruction Replace fixture Remove outst and paint, or replace frame (cost to prep/repaint) Confirm no acm (cost for abatement/new filtoring) Remove rust and paint Install wiremold Replace flooring with no-wax option/new I carpet tiles (Assumes epoxy moisture mitigation system already in place) Re-paint walls Replace tile and investigate cause of leak	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 istrict maintenance \$3,000 \$1,950 \$4,000 \$1,950 \$4,000 \$448,000 \$40,000	2017	\$2,000	\$3,000 \$500 \$8,775		2021		2023 \$1,500 \$500		2025			Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-13 Throughout Building A-16 Classroom 151 A-18 Classroom 149, Typ. A-19 Throughout Building A-20 Throughout Building A-21 Entryway near Admin A-22 Main Office A-23 Throughout Building- Typ. Classrooms	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rusting at column base Cable exposed at ceiling and wall Older base cabinets along wall Existing flooring will reach the end of its useful life Painting will be required as part of routine maintenance Ceiling tile damaged near fire sprinkler Reconfiguration to improve traffic flow and create more welcoming environment is desired Furniture Replacement: 20 Classrooms	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Replace desk layout Replace with levers and locks Remove obstruction Replace fixture Remove rust and paint, or replace frame (cost to prep/repaint) Confirm no acm (cost for abatement/new flooring) Remove rust and paint Remove rust and paint Replace as needed (price per room) Replace flooring with no-wax option/new itigation system already in place) Re-paint walls Replace tile and investigate cause of leak	Recommended Preventative Maintenance	Base Cost district maintenance \$2,000 \$1,500 \$5500 district maintenance \$3,000 \$500 \$1,950 \$8,775 \$500 \$1,950 \$8,775 \$500 \$12,000 \$448,000 \$40,000 district maintenance \$330,000	2017	\$2,000	\$3,000 \$500 \$8,775		2021		2023 \$1,500 \$500	\$40,000				Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-13 Throughout Building A-16 Classroom 151 A-18 Classroom 149, Typ. A-19 Throughout Building A-20 Throughout Building A-21 Entryway near Admin A-22 Main Office A-23 Throughout Building- Typ. Classrooms	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rusting at column base Cable exposed at ceiling and wall Older base cabinets along wall Existing flooring will reach the end of its useful life Painting will be required as part of routine maintenance Ceiling tile damaged near fire sprinkler Reconfiguration to improve traffic flow and create more welcoming environment is desired	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Replace exert Replace with levers and locks Remove obstruction Replace fixture Remove rust and paint, or replace frame (cost to preprirepaint) Confirm no acm (cost for abatement/new flooring) Remove rust and paint Remove rust and paint Install wiremold Replace flooring with no-wax option/new I carpet tiles (Assumes epoxy moisture mitigation system already in place) Re-paint walls Replace tile and investigate cause of leak d Explore options for reconfiguration Furniture Replacement: 20 Classrooms		Base Cost district maintenance \$2,000 \$1,500 district maintenance \$3,000 \$40,000 \$1,950 \$41,950 \$500 \$1,950 \$41,950 \$500 \$500 \$500 \$412,000 \$448,000 \$40,000 district maintenance	2017	\$2,000	\$3,000 \$500 \$8,775		2021	2022	2023 \$1,500 \$500	\$40,000				Totals
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-13 Throughout Building A-16 Classroom 151 A-18 Classroom 149, Typ. A-19 Throughout Building A-20 Throughout Building A-21 Entryway near Admin A-22 Main Office A-23 Throughout Building- Typ. Classrooms	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rusting at column base Cable exposed at ceiling and wall Older base cabinets along wall Existing flooring will reach the end of its useful life Painting will be required as part of routine maintenance Ceiling tile damaged near fire sprinkler Reconfiguration to improve traffic flow and create more welcoming environment is desired Furniture Replacement: 20 Classrooms	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Replace exert Replace with levers and locks Remove obstruction Replace fixture Remove rust and paint, or replace frame (cost to preprirepaint) Confirm no acm (cost for abatement/new flooring) Remove rust and paint Remove rust and paint Install wiremold Replace flooring with no-wax option/new I carpet tiles (Assumes epoxy moisture mitigation system already in place) Re-paint walls Replace tile and investigate cause of leak d Explore options for reconfiguration Furniture Replacement: 20 Classrooms	Recommended Preventative Maintenance Image: Commended Preventative Maintenance <td>Base Cost district maintenance \$2,000 \$1,500 \$500 \$500 \$3,000 \$1,950 \$500 \$1,950 \$500 \$1,950 \$500 \$1,950 \$500 \$12,000 \$448,000 \$448,000 \$412,000 \$330,000 \$120,000</td> <td>2017</td> <td>\$2,000</td> <td>\$3,000 \$500 \$8,775 \$500</td> <td></td> <td>2021</td> <td>2022</td> <td>2023 \$1,500 \$500 \$1,950</td> <td>\$40,000 \$40,000</td> <td>2025</td> <td>\$149,333</td> <td>\$330,667</td> <td></td>	Base Cost district maintenance \$2,000 \$1,500 \$500 \$500 \$3,000 \$1,950 \$500 \$1,950 \$500 \$1,950 \$500 \$1,950 \$500 \$12,000 \$448,000 \$448,000 \$412,000 \$330,000 \$120,000	2017	\$2,000	\$3,000 \$500 \$8,775 \$500		2021	2022	2023 \$1,500 \$500 \$1,950	\$40,000 \$40,000	2025	\$149,333	\$330,667	
Locations, Room No. Girls' Toilet 143, Outside 143 & 141, Toilet A-01 105A Girls' Toilet 143, Boys' Toilet 141, Workroom A-02 111, Library 112 Entrance Girls' Toilet 143, Boys' Toilet 141, Classroom A-03 154 A-05 Office 102 A-07 Classroom 105 A-08 Music Storage 107, Reading Room 127 A-09 Toilet 110A A-11 Vest 142 A-12 Custodian 104 A-13 Throughout Building A-16 Classroom 151 A-18 Classroom 149, Typ. A-19 Throughout Building A-21 Entryway near Admin A-21 Entryway near Admin A-22 Main Office A-23 Throughout Building- Typ. Classrooms	Ceramic tile cracking or missing Cracking at interior masonry wall Door vent rusting Reception desk prevents ADA clearance at door Existing doors have knob hardware Furniture prevents ADA clearance at door Crack at base of fixture Rusting at exterior door frame Older VCT Rust/peeling paint at interior door frame Rusting at column base Cable exposed at ceiling and wall Older base cabinets along wall Existing flooring will reach the end of its useful life Painting will be required as part of routine maintenance Ceiling tile damaged near fire sprinkler Reconfiguration to improve traffic flow and create more welcoming environment is desired Furniture Replacement: 20 Classrooms	Replace damaged tile Clean and prep exist wall crack. Install sealant and backer rod. Paint. Replace vent Replace exert Replace with levers and locks Remove obstruction Replace fixture Remove rust and paint, or replace frame (cost to preprirepaint) Confirm no acm (cost for abatement/new flooring) Remove rust and paint Remove rust and paint Install wiremold Replace flooring with no-wax option/new I carpet tiles (Assumes epoxy moisture mitigation system already in place) Re-paint walls Replace tile and investigate cause of leak d Explore options for reconfiguration Furniture Replacement: 20 Classrooms	Architectural Subtotals at 4% Inflation per	Base Cost district maintenance \$2,000 \$1,500 \$5500 district maintenance \$3,000 \$500 \$1,950 \$8,775 \$500 \$1,950 \$8,775 \$500 \$12,000 \$448,000 \$40,000 district maintenance \$330,000	2017	\$2,000	\$3,000 \$500 \$8,775		2021	2022	2023 \$1,500 \$500	\$40,000	2025			Totais



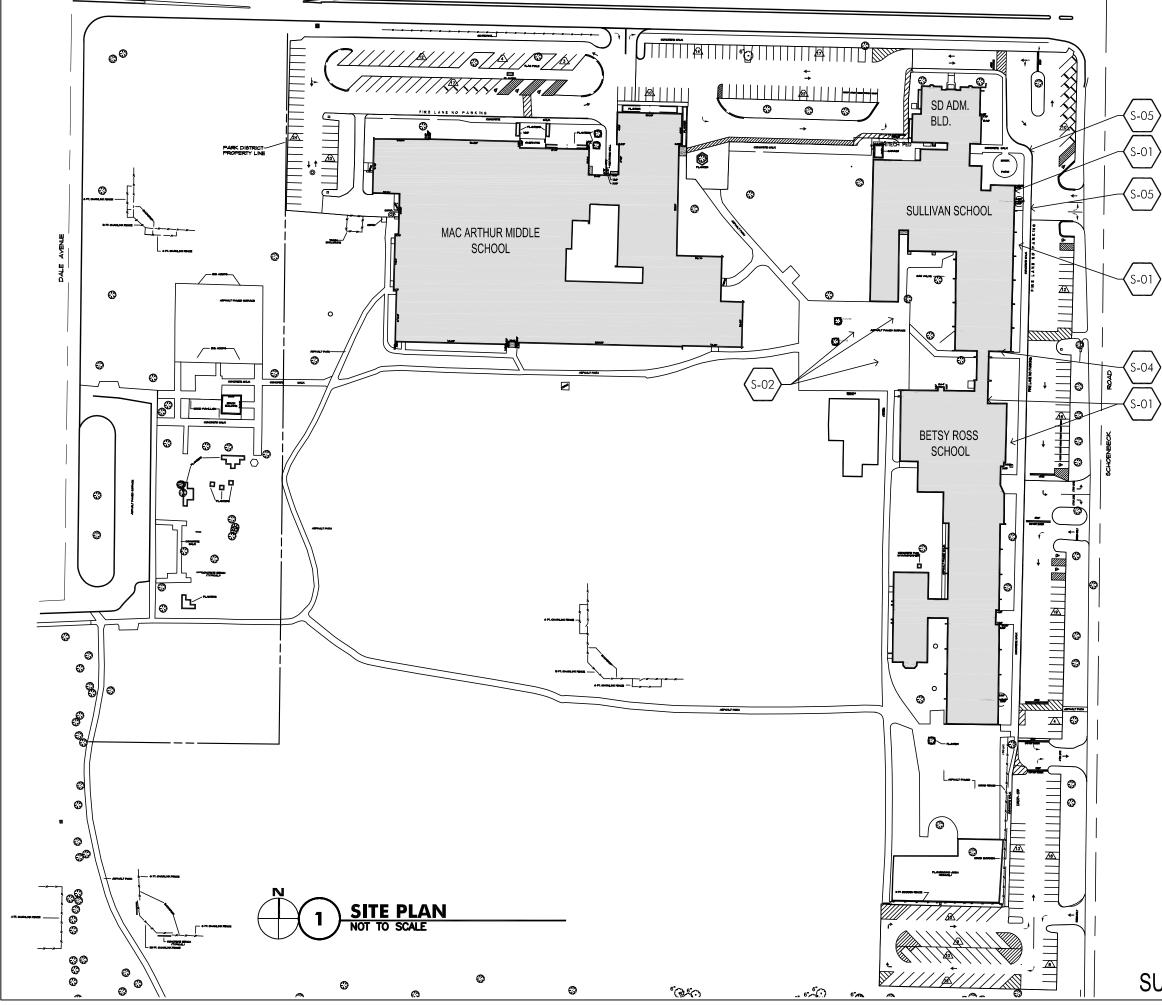


Sullivan Elementary School 01.05.17 Updated Report

Electrica					2016				Subi	totals include 4	% Inflation per ye	ar					
210011104	Locations, Room No.	Description of Work Item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027+	Totals
	Locations, Room No.	Description of Work term	Test functionality, replace if more than		Dase dest	2011	2010	2010	2020	2021	LULL	2020	2024	2020	2020	20274	rotais
FM-1	Multiple Classroom	Damaged intercom speaker	cosmetic.		\$1,000	\$1,000											
EM-2	Classroom 105	Outlet within 6' of sink not GFI	Replace with GFI outlet.		\$100	\$100											
EM-3	Custodian 104	Abandoned LV cable	Remove abandoned obsolete cables.		\$1,000	\$1,000											
LING	Ousloulan 104	Abandoned EV cable	Replace with addressable devices.		φ1,000	φ1,000											
EM-5	Building Wide	Non Addressable FA devices	Assumes cable reuse.		\$9,400				\$9,400								
EM-6	Classroom 130	Damaged receptacle	Replace		\$100	\$100			ψ3, 4 00								
EIVI-0	Classicolli 130	Replace existing aging clock system with	Replace		\$100	\$100											
EM-7	Building Wide				\$12,200				\$12,200								
	Building Wide	wireless clocks	Expand with Rauland TCU. Allows		φ12,200				φ12,200								
			district wide notification system and														
EM-8	Duilding Wide laters	Even and a visiting a system to district wide system.			\$6,000				\$6,000								
EIVI-8	Building Wide Intercom	Expand existing system to district wide system			\$6,000				\$6,000								
		Otoff has indicated as a standard have a sector th	Need staff to clarify what is meant by														
			y "shorted out" (breaker trip, GFCI trip,														
EM-9	East Wing of Building	"shorted out" during storms.	sparking at receptacles, etc)														
			Each receptacle is approx. \$25 material														
			cost only. Additionally in older														
			construction installation may be difficult														
			or not possible. USB charging type														
			receptacles are considerably deeper the														
			15A or 20A standard commercial grade														
			receptacles. Existing back boxes in														
		Change receptacles to new with USB chargers	s some locations may not have sufficient														
EM-10	Entire Building	built in.	depth.														
		Integrate with FA panel at Sullivan to achieve															
		simultaneous alarm in each building and															
		release all FA system controlled doors in each															
EM-11	Fire Alarm	building.															
				Electrical Subtotals at 4% Inflation per year	\$29,800	\$2,288	\$0	\$0	\$32,292	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$34,580
Mechanic	al				2016				Subt	totals include 4	% Inflation per ye	ar					
	Locations, Room No.	Description of Work Item				0047	0040	2019					0004	2025	2026	2027+	Tatala
		Description of work item	Recommended Corrective Measure	Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2020	2021+	Totals
		3 exhaust fans are approaching the end of the		Recommended Preventative Maintenance	Base Cost	2017	2018	2019	2020	2021	2022	2023	2024	2025	2020	2027+	Iotais
MM-1	Roof			Recommended Preventative Maintenance	Base Cost \$6,000	2017	2018	2019	2020	2021 \$6,000	2022	2023	2024	2025	2020	2027+	Iotais
MM-1		3 exhaust fans are approaching the end of the	ir	Recommended Preventative Maintenance		2017	2018	2019	2020		2022	2023	2024	2023	2020	2021+	I otais
MM-1		3 exhaust fans are approaching the end of the	ir	Recommended Preventative Maintenance		2017	2018	2019	2020		2022	2023	2024	2025	2020	2021+	Totais
MM-1		3 exhaust fans are approaching the end of the	ir			\$0	2018	2019	\$0		2022	2023 \$0	2024	\$025	\$0	\$0	\$7,320
MM-1		3 exhaust fans are approaching the end of the	ir	Mechanical Subtotals at 4% Inflation per	\$6,000	2017 \$0	2018	2019	\$0	\$6,000 \$7,320	\$0	\$0	2024 \$0	\$0	\$0	\$0	
MM-1 Plumbing	Roof	3 exhaust fans are approaching the end of the	ir	Mechanical Subtotals at 4% Inflation per	\$6,000	\$0	\$0	\$0	\$0	\$6,000 \$7,320	\$0	\$0	2024 \$0.	\$0	\$0	\$0	
	Roof	3 exhaust fans are approaching the end of the	ir	Mechanical Subtotals at 4% Inflation per year	\$6,000 \$6 ,000	2017	2018 \$0 2018	2019 \$0 2019	\$0	\$6,000 \$7,320	2022 \$0 % Inflation per ye 2022	\$0	2024 \$0 2024	2025 \$0	2026 \$0	\$0	
	Roof	3 exhaust fans are approaching the end of the useful life	ir Schedule exhaust fans for replacement	Mechanical Subtotals at 4% Inflation per year	\$6,000 \$6,000 2016	\$0	\$0 2018	\$0	\$0 Subi	\$6,000 \$7,320 totals include 4	\$0 % Inflation per ye	\$0 sar	\$0	\$0	\$0	\$0	\$7,320
	Roof	3 exhaust fans are approaching the end of the useful life Description of Work Item	ir Schedule exhaust fans for replacement	Mechanical Subtotals at 4% Inflation per year	\$6,000 \$6,000 2016	\$0	\$0	\$0	\$0 Subi	\$6,000 \$7,320 totals include 4	\$0 % Inflation per ye	\$0 sar	\$0	\$0	\$0	\$0	\$7,320
Plumbing	Roof Locations, Room No.	3 exhaust fans are approaching the end of the useful life	ir Schedule exhaust fans for replacement Recommended Corrective Measure	Mechanical Subtotals at 4% Inflation per year	\$6,000 \$6,000 2016 Base Cost	\$0	\$0 2018	\$0	\$0 Subt	\$6,000 \$7,320 totals include 4	\$0 % Inflation per ye 2022	\$0 sar	\$0	\$0	\$0	\$0	\$7,320
Plumbing PM-1 PM-2	Roof Locations, Room No. Classrooms 130, 132, 134, 136, 138 Classrooms 119 and 121	3 exhaust fans are approaching the end of the useful life	ir Schedule exhaust fans for replacement Recommended Corrective Measure Investigate low flow and repair. Replace piping serving sinks. Replace electric water coolers. Provide	Mechanical Subtotals at 4% Inflation per year	\$6,000 \$6,000 2016 Base Cost \$2,500 \$5,000	\$0 2017	\$0 2018	\$0	\$0 Subt	\$6,000 \$7,320 totals include 4 2021	\$0 % Inflation per ye 2022	\$0 sar	\$0	\$0	\$0	\$0	\$7,320
Plumbing PM-1	Roof Locations, Room No. Classrooms 130, 132, 134, 136, 138	3 exhaust fans are approaching the end of the useful life	ir Schedule exhaust fans for replacement Recommended Corrective Measure Investigate low flow and repair. Replace piping serving sinks.	Mechanical Subtotals at 4% Inflation per year	\$6,000 \$6,000 2016 Base Cost \$2,500	\$0	\$0 2018	\$0	\$0 Subt	\$6,000 \$7,320 totals include 4 2021	\$0 % Inflation per ye 2022	\$0 sar	\$0	\$0	\$0	\$0	\$7,320
Plumbing PM-1 PM-2	Roof Locations, Room No. Classrooms 130, 132, 134, 136, 138 Classrooms 119 and 121	3 exhaust fans are approaching the end of the useful life Description of Work Item Low flow at sinks. Sinks have new piping routed to each location. Galvanized piping serving classroom sinks. (3) Electric water coolers are old and worn. Existing mop sink faucet does not allow for	ir Schedule exhaust fans for replacement Recommended Corrective Measure Investigate low flow and repair. Replace piping serving sinks. Replace electric water coolers. Provide model with water filter for lead removal.	Mechanical Subtotals at 4% Inflation per year	\$6,000 \$6,000 2016 Base Cost \$2,500 \$5,000	\$0 2017	\$0 2018	\$0	\$0 Subt	\$6,000 \$7,320 totals include 4 2021	\$0 % Inflation per ye 2022	\$0 sar	\$0	\$0	\$0	\$0	\$7,320
Plumbing PM-1 PM-2	Roof Locations, Room No. Classrooms 130, 132, 134, 136, 138 Classrooms 119 and 121	3 exhaust fans are approaching the end of the useful life Description of Work Item Low flow at sinks. Sinks have new piping routed to each location. Galvanized piping serving classroom sinks. (3) Electric water coolers are old and worn.	ir Schedule exhaust fans for replacement Recommended Corrective Measure Investigate low flow and repair. Replace piping serving sinks. Replace electric water coolers. Provide	Mechanical Subtotals at 4% Inflation per year	\$6,000 \$6,000 2016 Base Cost \$2,500 \$5,000 \$7,500	\$0 2017	\$0 2018 \$2,500	\$0	\$0 Subt	\$6,000 \$7,320 totals include 4 2021	\$0 % Inflation per ye 2022	\$0 sar	\$0	\$0	\$0	\$0	\$7,320
Plumbing PM-1 PM-2	Roof Locations, Room No. Classrooms 130, 132, 134, 136, 138 Classrooms 119 and 121	3 exhaust fans are approaching the end of the useful life Description of Work Item Low flow at sinks. Sinks have new piping routed to each location. Galvanized piping serving classroom sinks. (3) Electric water coolers are old and worn. Existing mop sink faucet does not allow for	ir Schedule exhaust fans for replacement Recommended Corrective Measure Investigate low flow and repair. Replace piping serving sinks. Replace electric water coolers. Provide model with water filter for lead removal.	Mechanical Subtotals at 4% Inflation per year	\$6,000 \$6,000 2016 Base Cost \$2,500 \$5,000	\$0 2017	\$0 2018	\$0	\$0 Subt	\$6,000 \$7,320 totals include 4 2021	\$0 % Inflation per ye 2022	\$0 sar	\$0	\$0	\$0	\$0	\$7,320
Plumbing PM-1 PM-2 PM-3	Roof Locations, Room No. Classrooms 130, 132, 134, 136, 138 Classrooms 119 and 121 All Electric Water Coolers	3 exhaust fans are approaching the end of the useful life Description of Work Item Low flow at sinks. Sinks have new piping routed to each location. Galvanized piping serving classroom sinks. (3) Electric water coolers are old and worn. Existing mop sink faucet does not allow for code compliant connection to chemical	ir Schedule exhaust fans for replacement Recommended Corrective Measure Investigate low flow and repair. Replace piping serving sinks. Replace electric water coolers. Provide model with water filter for lead removal. Provide faucet with diverter and RPZ	Mechanical Subtotals at 4% Inflation per year Recommended Preventative Maintenance	\$6,000 \$6,000 2016 Base Cost \$2,500 \$5,000 \$7,500 \$3,000	2017 \$7,500	\$0 2018 \$2,500 \$3,000	\$0	\$0 Subt	\$6,000 \$7,320 totals include 4 2021 \$5,000	\$0 % Inflation per ye 2022	\$0 sar	\$0	\$0 2025	\$0 2026	\$0	\$7,320 Totals
Plumbing PM-1 PM-2 PM-3	Roof Locations, Room No. Classrooms 130, 132, 134, 136, 138 Classrooms 119 and 121 All Electric Water Coolers	3 exhaust fans are approaching the end of the useful life Description of Work Item Low flow at sinks. Sinks have new piping routed to each location. Galvanized piping serving classroom sinks. (3) Electric water coolers are old and worn. Existing mop sink faucet does not allow for code compliant connection to chemical	ir Schedule exhaust fans for replacement Recommended Corrective Measure Investigate low flow and repair. Replace piping serving sinks. Replace electric water coolers. Provide model with water filter for lead removal. Provide faucet with diverter and RPZ	Mechanical Subtotals at 4% Inflation per year	\$6,000 \$6,000 2016 Base Cost \$2,500 \$5,000 \$7,500	\$0 2017	\$0 2018 \$2,500	\$0	\$0 Subt	\$6,000 \$7,320 totals include 4 2021	\$0 % Inflation per ye 2022	\$0 sar	\$0	\$0	\$0	\$0	\$7,320
Plumbing PM-1 PM-2 PM-3	Roof Locations, Room No. Classrooms 130, 132, 134, 136, 138 Classrooms 119 and 121 All Electric Water Coolers	3 exhaust fans are approaching the end of the useful life Description of Work Item Low flow at sinks. Sinks have new piping routed to each location. Galvanized piping serving classroom sinks. (3) Electric water coolers are old and worn. Existing mop sink faucet does not allow for code compliant connection to chemical	ir Schedule exhaust fans for replacement Recommended Corrective Measure Investigate low flow and repair. Replace piping serving sinks. Replace electric water coolers. Provide model with water filter for lead removal. Provide faucet with diverter and RPZ	Mechanical Subtotals at 4% Inflation per year Recommended Preventative Maintenance	\$6,000 \$6,000 2016 Base Cost \$2,500 \$5,000 \$7,500 \$3,000 \$18,000	2017 \$7,500	\$0 2018 \$2,500 \$3,000	\$0	\$0 Subt	\$6,000 \$7,320 totals include 4 2021 \$5,000	\$0 % Inflation per ye 2022 \$0	\$0 kar 2023	\$0	\$0 2025	\$0 2026	\$0	\$7,320 Totals
Plumbing PM-1 PM-2 PM-3	Roof Locations, Room No. Classrooms 130, 132, 134, 136, 138 Classrooms 119 and 121 All Electric Water Coolers	3 exhaust fans are approaching the end of the useful life Description of Work Item Low flow at sinks. Sinks have new piping routed to each location. Galvanized piping serving classroom sinks. (3) Electric water coolers are old and worn. Existing mop sink faucet does not allow for code compliant connection to chemical	ir Schedule exhaust fans for replacement Recommended Corrective Measure Investigate low flow and repair. Replace piping serving sinks. Replace electric water coolers. Provide model with water filter for lead removal. Provide faucet with diverter and RPZ	Mechanical Subtotals at 4% Inflation per year Recommended Preventative Maintenance	\$6,000 2016 Base Cost \$2,500 \$5,000 \$7,500 \$3,000 \$18,000 \$2,115,277	2017 \$7,500	\$0 2018 \$2,500 \$3,000 \$5,940 \$32,551	\$0 2019 \$0 \$0 \$35,588	\$0 \$0 2020 \$0 \$0 \$0 \$602,199	\$6,000 \$7,320 totals include 4 2021 \$5,000 \$5,000 \$6,100 \$330,949	\$0 % Inflation per ye 2022 \$0 \$0 \$725,280	\$0 Par 2023 \$0 \$0 \$78,896	\$0	\$0 2025 \$0 \$0 \$220,313	\$0 2026 \$0 \$0 \$227,673	\$0 2027+ \$0 \$0 \$509,227	\$7,320 Totals
Plumbing PM-1 PM-2 PM-3	Roof Locations, Room No. Classrooms 130, 132, 134, 136, 138 Classrooms 119 and 121 All Electric Water Coolers	3 exhaust fans are approaching the end of the useful life Description of Work Item Low flow at sinks. Sinks have new piping routed to each location. Galvanized piping serving classroom sinks. (3) Electric water coolers are old and worn. Existing mop sink faucet does not allow for code compliant connection to chemical	ir Schedule exhaust fans for replacement Recommended Corrective Measure Investigate low flow and repair. Replace piping serving sinks. Replace electric water coolers. Provide model with water filter for lead removal. Provide faucet with diverter and RPZ	Mechanical Subtotals at 4% Inflation per year Recommended Preventative Maintenance Plumbing Subtotals at 4% Inflation per year Subtotal 10% Design Contingency	\$6,000 \$6,000 2016 Base Cost \$2,500 \$5,000 \$7,500 \$3,000 \$18,000 \$18,000 \$2,115,277 \$211,528	2017 2017 \$7,500 \$7,800 \$26,312 \$2,631	\$0 2018 \$2,500 \$3,000 \$5,940 \$32,551 \$3,255	\$0 2019 \$0 \$35,588 \$33,559	\$0 \$ubt 2020 \$00 \$00 \$602,199 \$602,20	\$6,000 \$7,320 totals include 4 2021 \$5,000 \$6,100 \$330,949 \$33,095	\$0 % Inflation per ye 2022 \$0 \$0 \$725,280 \$72,528	\$0 ar 2023 \$0 \$0 \$78,896 \$7,830	\$0 2024 \$0 \$179,799 \$17,980	\$0 2025 \$0 \$220,313 \$22,0,313	\$0 2026 \$0 \$227,673 \$227,673	\$0 2027+ \$0 \$0 \$509,227 \$50,923	\$7,320 Totals
Plumbing PM-1 PM-2 PM-3	Roof Locations, Room No. Classrooms 130, 132, 134, 136, 138 Classrooms 119 and 121 All Electric Water Coolers	3 exhaust fans are approaching the end of the useful life Description of Work Item Low flow at sinks. Sinks have new piping routed to each location. Galvanized piping serving classroom sinks. (3) Electric water coolers are old and worn. Existing mop sink faucet does not allow for code compliant connection to chemical	ir Schedule exhaust fans for replacement Recommended Corrective Measure Investigate low flow and repair. Replace piping serving sinks. Replace electric water coolers. Provide model with water filter for lead removal. Provide faucet with diverter and RPZ backflow assembly.	Mechanical Subtotals at 4% Inflation per year Recommended Preventative Maintenance Plumbing Subtotals at 4% Inflation per year Subtotal 10% Design Contingency 10% Construction Contingency	\$6,000 \$6,000 2016 Base Cost \$2,500 \$7,500 \$3,000 \$18,000 \$18,000 \$2,115,277 \$211,528 \$211,528	\$0 \$0 \$0 \$0 \$7,500 \$7,500 \$7,500 \$2,631 \$2,631 \$2,631 \$2,631	\$0 2018 \$2,500 \$3,000 \$5,940 \$32,551 \$3,255 \$3,255	\$0 2019 \$0 \$35,588 \$3,559 \$3,559	\$0 \$0 2020 \$0 \$0 \$60,220 \$60,220 \$60,220	\$6,000 \$7,320 totals include 4 2021 \$5,000 \$6,100 \$330,949 \$33,095 \$33,095	\$0 % Inflation per ye 2022 \$0 \$725,280 \$72,528 \$72,528	\$0 ar 2023 \$0 \$78,896 \$7,890 \$7,890	\$0 2024 \$0 \$179,799 \$17,980 \$17,980	\$0 2025 \$0 \$220,313 \$22,031 \$22,031	\$0 2026 \$0 \$227.673 \$22.767 \$22.767	\$0 2027+ \$0 \$609.227 \$50.923 \$50.923	\$7,320 Totals
Plumbing PM-1 PM-2 PM-3	Roof Locations, Room No. Classrooms 130, 132, 134, 136, 138 Classrooms 119 and 121 All Electric Water Coolers	3 exhaust fans are approaching the end of the useful life Description of Work Item Low flow at sinks. Sinks have new piping routed to each location. Galvanized piping serving classroom sinks. (3) Electric water coolers are old and worn. Existing mop sink faucet does not allow for code compliant connection to chemical	ir Schedule exhaust fans for replacement Recommended Corrective Measure Investigate low flow and repair. Replace piping serving sinks. Replace electric water coolers. Provide model with water filter for lead removal. Provide faucet with diverter and RPZ backflow assembly.	Mechanical Subtotals at 4% Inflation per year Recommended Preventative Maintenance Plumbing Subtotals at 4% Inflation per year Subtotal 10% Design Contingency	\$6,000 \$6,000 2016 Base Cost \$2,500 \$5,000 \$7,500 \$3,000 \$18,000 \$18,000 \$2,115,277 \$211,528	2017 2017 \$7,500 \$7,800 \$26,312 \$2,631	\$0 2018 \$2,500 \$3,000 \$5,940 \$32,551 \$3,255	\$0 2019 \$0 \$35,588 \$33,559	\$0 \$0 2020 \$0 \$0 \$60,220 \$60,220 \$60,220	\$6,000 \$7,320 totals include 4 2021 \$5,000 \$6,100 \$330,949 \$33,095	\$0 % Inflation per ye 2022 \$0 \$0 \$725,280 \$72,528	\$0 ar 2023 \$0 \$0 \$78,896 \$7,830	\$0 2024 \$0 \$179,799 \$17,980	\$0 2025 \$0 \$220,313 \$22,0,313	\$0 2026 \$0 \$227,673 \$227,673	\$0 2027+ \$0 \$0 \$509,227 \$50,923	\$7,320 Totals
Plumbing PM-1 PM-2 PM-3	Roof Locations, Room No. Classrooms 130, 132, 134, 136, 138 Classrooms 119 and 121 All Electric Water Coolers	3 exhaust fans are approaching the end of the useful life Description of Work Item Low flow at sinks. Sinks have new piping routed to each location. Galvanized piping serving classroom sinks. (3) Electric water coolers are old and worn. Existing mop sink faucet does not allow for code compliant connection to chemical	ir Schedule exhaust fans for replacement Recommended Corrective Measure Investigate low flow and repair. Replace piping serving sinks. Replace electric water coolers. Provide model with water filter for lead removal. Provide faucet with diverter and RPZ backflow assembly.	Mechanical Subtotals at 4% Inflation per year Recommended Preventative Maintenance Plumbing Subtotals at 4% Inflation per year Subtotal 10% Design Contingency 10% Construction Contingency	\$6,000 \$6,000 2016 Base Cost \$2,500 \$7,500 \$3,000 \$18,000 \$18,000 \$2,115,277 \$211,528 \$211,528	\$0 \$0 \$0 \$0 \$7,500 \$7,500 \$7,500 \$2,631 \$2,631 \$2,631 \$2,631	\$0 2018 \$2,500 \$3,000 \$5,940 \$32,551 \$3,255 \$3,255	\$0 2019 \$0 \$35,588 \$3,559 \$3,559	\$0 \$0 2020 \$0 \$0 \$60,220 \$60,220 \$60,220	\$6,000 \$7,320 totals include 4 2021 \$5,000 \$6,100 \$330,949 \$33,095 \$33,095	\$0 % Inflation per ye 2022 \$0 \$725,280 \$72,528 \$72,528	\$0 ar 2023 \$0 \$78,896 \$7,890 \$7,890	\$0 2024 \$0 \$179,799 \$17,980 \$17,980	\$0 2025 \$0 \$220,313 \$22,031 \$22,031	\$0 2026 \$0 \$227.673 \$22.767 \$22.767	\$0 2027+ \$0 \$609.227 \$50.923 \$50.923	\$7,320 Totals
Plumbing PM-1 PM-2 PM-3	Roof Locations, Room No. Classrooms 130, 132, 134, 136, 138 Classrooms 119 and 121 All Electric Water Coolers	3 exhaust fans are approaching the end of the useful life Description of Work Item Low flow at sinks. Sinks have new piping routed to each location. Galvanized piping serving classroom sinks. (3) Electric water coolers are old and worn. Existing mop sink faucet does not allow for code compliant connection to chemical	ir Schedule exhaust fans for replacement Recommended Corrective Measure Investigate low flow and repair. Replace piping serving sinks. Replace electric water coolers. Provide model with water filter for lead removal. Provide faucet with diverter and RPZ backflow assembly.	Mechanical Subtotals at 4% Inflation per year Recommended Preventative Maintenance Plumbing Subtotals at 4% Inflation per year Subtotal 10% Design Contingency 10% Construction Contingency 8% A/E Fee Contingency	\$6,000 2016 Base Cost \$2,500 \$5,000 \$7,500 \$3,000 \$18,000 \$2,115,277 \$211,528 \$211,528 \$211,528 \$211,528	2017 2017 \$7,500 \$7,500 \$26,312 \$2,631 \$2,631 \$2,105	\$0 2018 \$2,500 \$3,000 \$3,000 \$3,255 \$3,255 \$3,255 \$2,604	\$0 2019 \$0 \$35,588 \$3,559 \$3,559 \$2,847	\$0 \$0 2020 \$0 \$0 \$60,220 \$60,220 \$60,220 \$60,220 \$60,220 \$60,220	\$6,000 \$7,320 totals include 4 2021 \$5,000 \$6,100 \$33,095 \$33,095 \$26,476	\$0 % Inflation per ye 2022 \$0 \$725,280 \$725,528 \$72,528 \$72,528 \$72,528	\$0 har 2023 \$0 \$0 \$78,896 \$7,890 \$7,890 \$7,890 \$6,312	\$0 2024 \$0 \$17,999 \$17,980 \$17,980 \$14,384	\$0 2025 \$0 \$22,031 \$22,031 \$22,031 \$22,031 \$22,031	\$0 2026 \$0 \$227,673 \$22,767 \$22,767 \$22,767 \$22,767	\$0 2027+ \$0 \$50,923 \$50,923 \$50,923 \$50,923 \$40,738	\$7,320 Totals
Plumbing PM-1 PM-2 PM-3 PM-4	Roof Locations, Room No. Classrooms 130, 132, 134, 136, 138 Classrooms 119 and 121 All Electric Water Coolers	3 exhaust fans are approaching the end of the useful life Description of Work Item Low flow at sinks. Sinks have new piping routed to each location. Galvanized piping serving classroom sinks. (3) Electric water coolers are old and worn. Existing mop sink faucet does not allow for code compliant connection to chemical	ir Schedule exhaust fans for replacement Recommended Corrective Measure Investigate low flow and repair. Replace piping serving sinks. Replace electric water coolers. Provide model with water filter for lead removal. Provide faucet with diverter and RPZ backflow assembly.	Mechanical Subtotals at 4% Inflation per year Recommended Preventative Maintenance Plumbing Subtotals at 4% Inflation per year Subtotal 10% Design Contingency 10% Construction Contingency 8% A/E Fee Contingency	\$6,000 2016 Base Cost \$2,500 \$5,000 \$7,500 \$3,000 \$18,000 \$2,115,277 \$211,528 \$211,528 \$211,528 \$211,528	2017 2017 \$7,500 \$7,500 \$26,312 \$2,631 \$2,631 \$2,105	\$0 2018 \$2,500 \$3,000 \$5,940 \$32,551 \$3,255 \$3,255 \$3,255 \$2,604 \$41,666	\$0 2019 \$0 \$35,588 \$3,559 \$3,559 \$2,847 \$45,553	\$0 2020 2020 \$0 \$0 \$60,220 \$60,220 \$60,220 \$60,220 \$60,220 \$60,220 \$60,220 \$60,220	\$6,000 \$7,320 totals include 4 2021 \$5,000 \$6,100 \$33,095 \$34,095 \$34,095 \$34,095 \$34,095 \$34,095 \$35,005 \$	\$0 % Inflation per ye 2022 \$0 \$725,280 \$725,528 \$72,528 \$72,528 \$72,528	\$0 30 2023 2023 50 57,890 \$7,900 \$7,9000 \$7,900 \$7,900 \$7,900 \$7,900 \$7,900 \$7,90	\$0 2024 \$0 \$17,999 \$17,980 \$17,980 \$14,384	\$0 2025 \$0 \$220,313 \$22,031 \$22,031 \$22,031 \$22,031 \$22,031 \$22,031	\$0 2026 \$0 \$227,673 \$22,767 \$22,767 \$18,214 \$291,421	\$0 2027+ \$0 \$50,923 \$50,923 \$50,923 \$50,923 \$40,738	\$7,320 Totals
Plumbing PM-1 PM-2 PM-3 PM-4	Roof Locations, Room No. Classrooms 130, 132, 134, 136, 138 Classrooms 119 and 121 All Electric Water Coolers Janitors Closets	3 exhaust fans are approaching the end of the useful life Description of Work Item Low flow at sinks. Sinks have new piping routed to each location. Galvanized piping serving classroom sinks. (3) Electric water coolers are old and worn. Existing mop sink faucet does not allow for code compliant connection to chemical	ir Schedule exhaust fans for replacement Recommended Corrective Measure Investigate low flow and repair. Replace piping serving sinks. Replace electric water coolers. Provide model with water filter for lead removal. Provide faucet with diverter and RPZ backflow assembly.	Mechanical Subtotals at 4% Inflation per year Recommended Preventative Maintenance Plumbing Subtotals at 4% Inflation per year Subtotal 10% Design Contingency 10% Construction Contingency 8% A/E Fee Contingency	\$6,000 2016 Base Cost \$2,500 \$5,000 \$7,500 \$3,000 \$18,000 \$18,000 \$2,115,277 \$211,528 \$211,528 \$211,528 \$211,528 \$211,528 \$21,527 \$21,527 \$21,528 \$2,707,555	2017 2017 \$7,500 \$7,500 \$26,312 \$2,631 \$2,631 \$2,105	\$0 2018 \$2,500 \$3,000 \$3,000 \$3,255 \$3,255 \$3,255 \$2,604	\$0 2019 \$0 \$35,588 \$3,559 \$3,559 \$2,847	\$0 2020 2020 \$0 \$0 \$60,220 \$60,220 \$60,220 \$60,220 \$60,220 \$60,220 \$60,220 \$60,220	\$6,000 \$7,320 totals include 4 2021 \$5,000 \$6,100 \$33,095 \$34,095 \$34,095 \$34,095 \$34,095 \$34,095 \$35,005 \$	\$0 % Inflation per ye 2022 \$0 \$725,280 \$725,280 \$72,528 \$72,528 \$72,528 \$72,528 \$72,528 \$72,528	\$0 30 2023 2023 50 57,890 \$7,900 \$7,9000 \$7,900 \$7,900 \$7,900 \$7,900 \$7,900 \$7,90	\$0 2024 \$0 \$17,999 \$17,980 \$17,980 \$14,384	\$0 2025 \$0 \$22,031 \$22,031 \$22,031 \$22,031 \$22,031	\$0 2026 \$0 \$227,673 \$22,767 \$22,767 \$22,767 \$22,767	\$0 2027+ \$0 \$50,923 \$50,923 \$50,923 \$50,923 \$40,738	\$7,320 Totals
Plumbing PM-1 PM-2 PM-3 PM-4	Roof Locations, Room No. Classrooms 130, 132, 134, 136, 138 Classrooms 119 and 121 All Electric Water Coolers Janitors Closets apital Equipment	3 exhaust fans are approaching the end of the useful life Description of Work Item Low flow at sinks. Sinks have new piping routed to each location. Galvanized piping serving classroom sinks. (3) Electric water coolers are old and worn. Existing mop sink faucet does not allow for code compliant connection to chemical dispensing cleaning equipment.	ir Schedule exhaust fans for replacement Recommended Corrective Measure Investigate low flow and repair. Replace piping serving sinks. Replace electric water coolers. Provide model with water filter for lead removal. Provide faucet with diverter and RPZ backflow assembly.	Mechanical Subtotals at 4% Inflation per year Recommended Preventative Maintenance Plumbing Subtotals at 4% Inflation per year Subtotal 10% Design Contingency 10% Construction Contingency 8% A/E Fee Contingency 8% A/E Fee Contingency	\$6,000 2016 Base Cost \$2,500 \$5,000 \$7,500 \$3,000 \$18,000 \$2,115,277 \$211,528 \$211,528 \$211,528 \$211,528 \$211,528 \$211,528 \$211,528 \$21,509 2016	\$0 2017 \$7,500 \$7,500 \$26,312 \$2,631 \$2,632 \$2,	\$0 2018 \$2,500 \$3,000 \$5,940 \$32,551 \$3,255 \$3,255 \$3,255 \$2,604 \$41,666	\$0 2019 \$0 \$35,588 \$3,559 \$3,559 \$2,847 \$45,553	\$0 \$0 2020 \$0 \$0 \$0 \$60,220 \$60,220 \$60,220 \$60,220 \$48,176 \$770,815 \$0 \$0 \$0 \$0 \$0 \$0 \$0 \$0 \$0 \$0	\$6,000 \$7,320 totals include 4 2021 \$5,000 \$6,100 \$33,095 \$33,095 \$26,476 \$423,615 totals include 4	\$0 % Inflation per ye 2022 \$0 \$725,280 \$72,528 \$72,528 \$72,528 \$72,528 \$58,022 \$928,359 % Inflation per ye	\$0 ar 2023 \$0 \$0 \$78,896 \$7,890 \$7,890 \$7,890 \$7,890 \$6,312 \$100,987 ar	\$0 2024 \$0 \$179,799 \$17,980 \$17,980 \$17,980 \$14,384 \$230,142	\$0 2025 \$0 \$220,313 \$22,031 \$22,031 \$22,031 \$22,031 \$22,031 \$22,031	\$0 2026 \$0 \$227,673 \$22,767 \$22,767 \$18,214 \$291,421	\$0 2027+ \$0 \$50,923 \$50,923 \$50,923 \$40,738 \$651,811	\$7,320 Totals
Plumbing PM-1 PM-2 PM-3 PM-4	Roof Locations, Room No. Classrooms 130, 132, 134, 136, 138 Classrooms 119 and 121 All Electric Water Coolers Janitors Closets apital Equipment	3 exhaust fans are approaching the end of the useful life Description of Work Item Low flow at sinks. Sinks have new piping routed to each location. Galvanized piping serving classroom sinks. (3) Electric water coolers are old and worn. Existing mop sink faucet does not allow for code compliant connection to chemical dispensing cleaning equipment.	ir Schedule exhaust fans for replacement Recommended Corrective Measure Investigate low flow and repair. Replace piping serving sinks. Replace electric water coolers. Provide model with water filter for lead removal. Provide faucet with diverter and RPZ backflow assembly.	Mechanical Subtotals at 4% Inflation per year Recommended Preventative Maintenance Plumbing Subtotals at 4% Inflation per year Subtotal 10% Design Contingency 10% Construction Contingency 8% A/E Fee Contingency 8% A/E Fee Contingency TOTAL Recommended Preventative Maintenance	\$6,000 2016 Base Cost \$2,500 \$5,000 \$7,500 \$3,000 \$18,000 \$2,115,277 \$211,528 \$211,528 \$211,528 \$211,528 \$211,528 \$211,528 \$211,528 \$21,509 2016	\$0 2017 \$7,500 \$7,500 \$26,312 \$2,631 \$2,632 \$2,	\$0 2018 \$2,500 \$3,000 \$5,940 \$32,551 \$3,255 \$3,255 \$3,255 \$2,604 \$41,666	\$0 2019 \$0 \$35,588 \$3,559 \$3,559 \$2,847 \$45,553	\$0 \$0 2020 \$0 \$0 \$0 \$60,220 \$60,220 \$60,220 \$60,220 \$48,176 \$770,815 \$0 \$0 \$0 \$0 \$0 \$0 \$0 \$0 \$0 \$0	\$6,000 \$7,320 totals include 4 2021 \$5,000 \$6,100 \$33,095 \$33,095 \$26,476 \$423,615 totals include 4	\$0 % Inflation per ye 2022 \$0 \$725,280 \$72,528 \$72,528 \$72,528 \$72,528 \$58,022 \$928,359 % Inflation per ye	\$0 ar 2023 \$0 \$0 \$78,896 \$7,890 \$7,890 \$7,890 \$7,890 \$6,312 \$100,987 ar	\$0 2024 \$0 \$179,799 \$17,980 \$17,980 \$17,980 \$14,384 \$230,142	\$0 2025 \$0 \$220,313 \$22,031 \$22,031 \$22,031 \$22,031 \$22,031 \$22,031	\$0 2026 \$0 \$227,673 \$22,767 \$22,767 \$18,214 \$291,421	\$0 2027+ \$0 \$50,923 \$50,923 \$50,923 \$40,738 \$651,811	\$7,320 Totals
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**Note: See attached "Wood Siding Replacement Budget" Multiple finish options are being considered at a budget range of \$90,391-\$151,456. Installation of new windows to restore the size of the original openings is also being explored. Budget number for this option to follow.





SULLIVAN ELEMENTARY SCHOOL

1.200	
ALKC	URI
	architects
construct	tion managers rv consultants

p: 630.495.1900

10 Year Long Range Facility Plan

at DWIGHT D. EISENHOWER ELEMENTARY 1N. Schoenbeck Rd. Prospect Heights, IL 60070

BETSY ROSS ELEMENTARY 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

ANN SULLIVAN ELEMENTARY 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

DOUGLAS MACARTHUR MIDDLE SCHOOL 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

for the BOARD of EDUCATION Prospect Heights School District 23 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

> **WORK ITEMS** PLANS

REVISIONS No. Date

By

Project Number: 16077 Issue Date

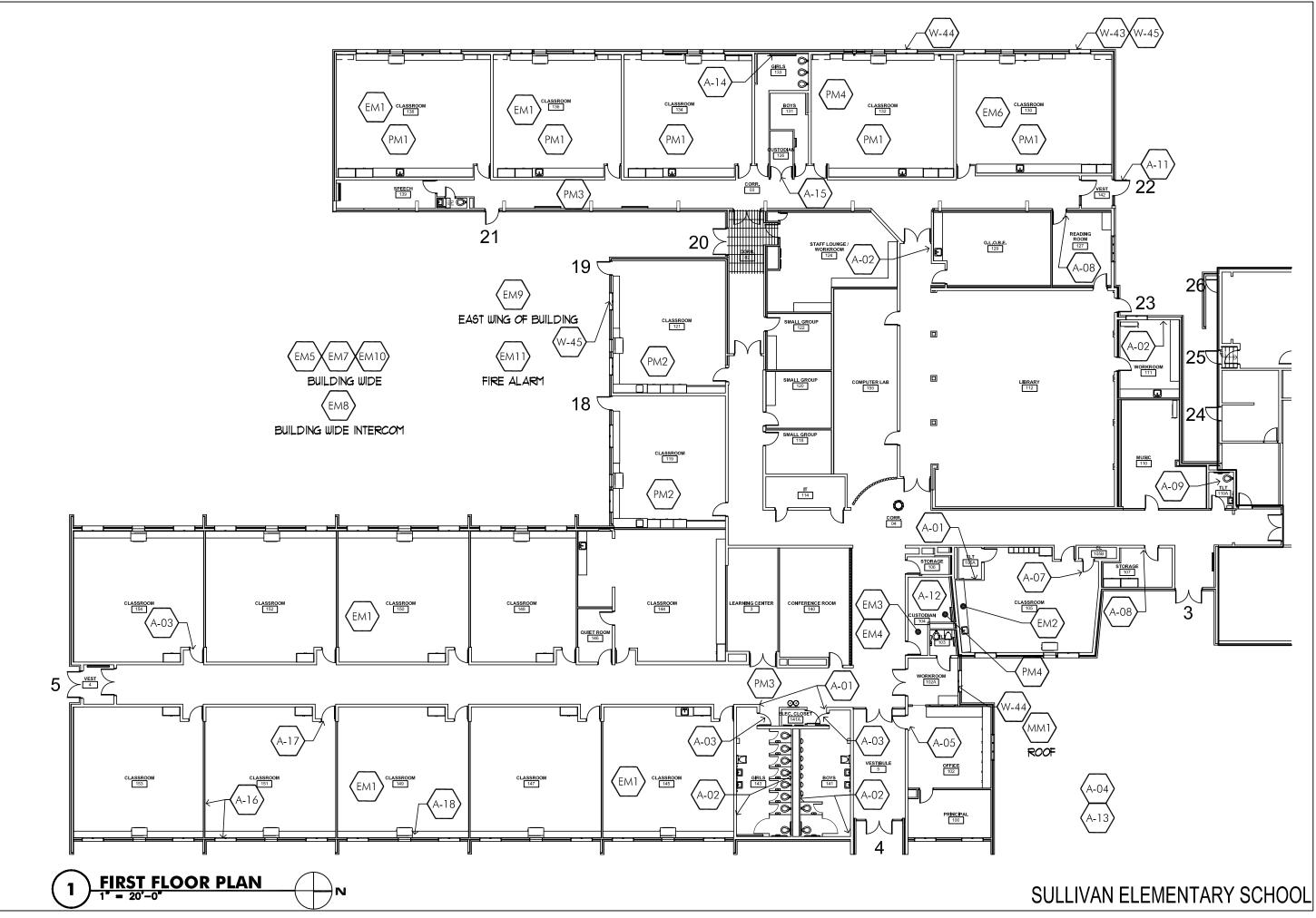
JANUARY 05, 2017 Drawn by:

EMM

Sheet Title SITE PLAN

Sheet Number

AR-1



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constructio	architects n managers
roof & masonry environmental	consultants
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2050 south finley road, suite 40 lombard, filinois 60148 p: 630.495.1900

10 Year Long Range Facility Plan

ar DWIGHT D. EISENHOWER ELEMENTARY 1N. Schoenbeck Rd. Prospect Heights, IL 60070

BETSY ROSS ELEMENTARY 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

ANN SULLIVAN ELEMENTARY

700 N. Schoenbeck Rd. Prospect Heights, IL 60070

DOUGLAS MACARTHUR MIDDLE SCHOOL 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

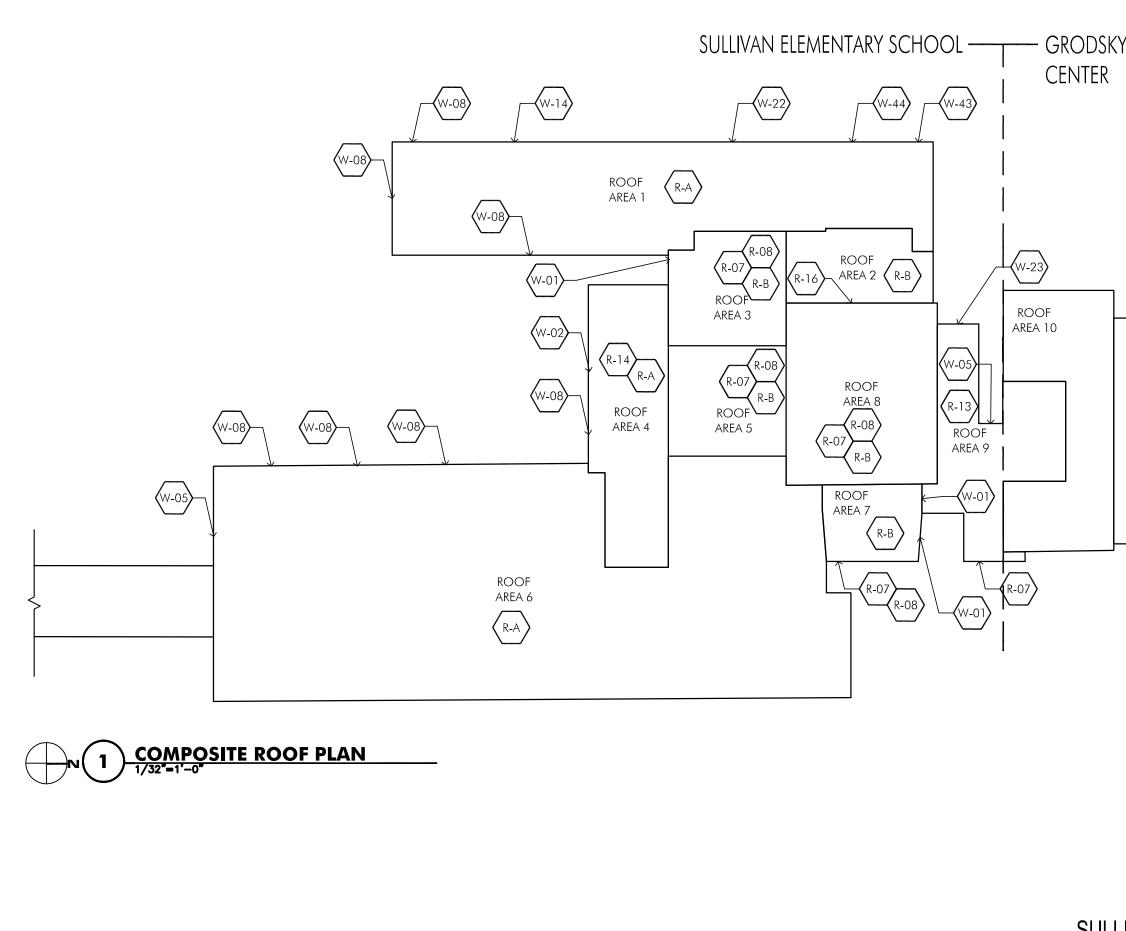
for the

BOARD of EDUCATION Prospect Heights School District 23 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

PLANS / WORK ITEMS
REVISIONS
No. Date By
Project Number: 16077
Issue Date: JANUARY 05, 2017
Drawn by: EMM
Sheet Title FIRST FLOOR PLAN

Sheet Number

AR-2



GRODSKY ADMINISTRATION



inley road, suite 40 ard, illinois 60148 p: 630.495.1900

10 Year Long Range **Facility Plan**

at DWIGHT D. EISENHOWER ELEMENTARY 1N. Schoenbeck Rd. Prospect Heights, IL 60070

BETSY ROSS ELEMENTARY 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

ANN SULLIVAN ELEMENTARY 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

DOUGLAS MACARTHUR MIDDLE SCHOOL 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

for the BOARD of EDUCATION Prospect Heights School District 23 700 N. Schoenbeck Rd. Prospect Heights, IL 60070

PLANS / WORK ITEMS

REVISIONS No. Date

Ву

Project Number: 16077 Issue Date: JANUARY 05, 2017 Drawn by: MAH Sheet Title COMPOSITE ROOF PLAN Sheet Number

AR-3

roof AREA 11

SULLIVAN ELEMENTARY SCHOOL